



**Development Application**  
**Town of Stowe Planning & Zoning Department**  
**PO Box 730**  
**Stowe, VT 05672**  
**Telephone: (802) 253-6141**  
**This form serves as an application for all requested zoning and subdivision reviews.**

**Project #**  
**(To be assigned)**

**Date Received:**

#### Property Owner Information

Property Owner	Edward S Grennan Jr and Rosalie Maloney	
Mailing Street Address City, State and Zip		
Telephone Number	Email	

#### Applicant Information (Relationship to Owner)

Owner (If so, skip to property information)  Lessee  Contractor  
 Architect/Designer  Agent for Owner  Under purchase contract  
*All information and correspondence is sent to applicant/contact.*

Applicant Name Company (if any)	John D. Grenier, PE- Grenier Engineering, PC	
Mailing Street Address City, State and Zip	PO Box 445 Waterbury VT 05676	chris@grenierengineering.com
Phone Number	802-244-6413	Email john@grenierengineering.com

#### Property Information & Location

Physical Address	0 Gilcrist Rd	
Tax Map ID	07-330.010	

Existing Use Undeveloped      Proposed Use 3 lot subdivision

**Please briefly describe the proposed project, intended use, and/or development request below:**

To subdivide the existing 11.2+/- acre lot owned by Grennan on Gilchrist Rd into 3 residential lots. An access driveway is proposed with one new curb cut on Gilchrist Rd. Each lot will have on-site septic systems and water supplies. Natural forest cover will be retained along property boundaries to provide screening for the project.

#### For All Approvals:

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if:

Property Owner OR  
 Agent for Owner

Signature:

Date:

10/14/25

Additional application information is required on reverse side: ➔

**Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.**

### Construction Information

A site plan showing the proposed development is required if construction is involved.

***The applicant is responsible for determining property lines and setbacks.***

**Please answer the questions below for all projects:**

Will there be a new curb cut (driveway opening)?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will over $\frac{1}{2}$ acre of land be graded or disturbed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will the development create an additional $\frac{1}{2}$ acre of impervious surface?	<del>Yes</del> <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Maximum Bldg. Height: NA \* Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

**Please answer the questions below for all projects involving residential dwellings:**

Existing Rooms:	# Bathrooms:	# Bedrooms:	# Kitchens:
New Rooms:	# Bathrooms:	# Bedrooms:	# Kitchens:

**Please complete the fee calculation below for all applications:**

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
	<b>Fee:</b>	<b>\$</b>

Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.25	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
	<b>Fee:</b>	<b>\$</b>

Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	
Conditional Use Review	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	250.00
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	450.00
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
	<b>Fee:</b>	<b>\$</b>
Signs	\$70.00	
	<b>Fee:</b>	<b>\$</b>
Recording Fees /Stowe Land Records (set by state law)		

No

Additional Recording Fee for decision notice	\$15.00/page	\$ 15.00
Additional Recording Fee for permit	\$15.00/page	\$ 15.00
Additional Recording Fee for Mylar	\$25.00/sheet	\$ 25.00
<b>Total Application Fee Including Recording</b>		<b>\$ 755.00</b>

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to [www.townofstowevt.org/townclerk/](http://www.townofstowevt.org/townclerk/) and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.

**OFFICE USE ONLY**

Date Received \_\_\_\_\_

Permit Fee	\$
Recording Fee	\$
<b>TOTAL FEE</b>	\$

Zoning District \_\_\_\_\_

Check #

Overlay District \_\_\_\_\_

Cash

Approved Date \_\_\_\_\_

Effective Date \_\_\_\_\_

Expiration Date \_\_\_\_\_

Denied Date \_\_\_\_\_

Referred \_\_\_\_\_

Reason \_\_\_\_\_

Hearing Date \_\_\_\_\_

**Comments/Conditions**

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**Zoning Administrator**

**Date**

For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at  
[PandZ@stowevt.gov](mailto:PandZ@stowevt.gov)

*The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.*



December 23, 2025- Revised January 8, 2026

Sarah McShane

Kyle Hansen

Kayla Hedberg

Town of Stowe

PO Box 730

Stowe, VT 05672

RE: Proposed 3-Lot Subdivision on Gilcrist Rd. Grennan Property.

Dear Stowe Zoning Dept,

Please find enclosed with this cover letter, the following documentation for the proposed 3-lot subdivision for Grennan on Gilcrist Rd:

1. Overall Site Plan by Grenier Engineering, PC- dated 12/16/25 (One full size 24"x 36" & 9 reduced size, 11" x 17" copies)
2. Copy of Driveway Entrance Approval from Stowe Public Works
3. Town of Stowe Development Application
4. Fee check totaling \$755.00, made payable to Town of Stowe. This fee includes recording fee for the survey plat (one sheet).

The Grennan's are proposing to subdivide the existing 11.2+- acres they own on Gilcrist Rd in Stowe. Please see the following details included in this letter, as well as the enclosed site plan.

The proposed subdivision will consist of the following:

Lot 1- 3.1+- acres

Lot 2- 4.7+- acres

Lot 3- 3.3+- acres

The project is located in two zoning districts with the portion of the property being closest to Gilcrist Rd being RR-2 and the rear of the property being RR-3. The district minimums for acreage and setbacks are met for each zoning district involved and are displayed on the enclosed site plan.

The lots are proposed with a shared driveway access. Included with this application is a Town of Stowe Driveway Entrance permit. The Public Works Dept has agreed that the proposed access point provides sufficient site distance and safe access to the project. It is anticipated that the deeds for the lots will include shared driveway maintenance terms based on pro rated share for each lot should they come under separate ownership. The proposed shared driveway does not contain any steep grades. The shared portion is proposed with a 3% to 4% grade. The individual driveway to Lot 1 does not exceed 12% grade and the individual driveways to Lot 2 and Lot 3 are less than 4%



grade. No steep grades are involved with the proposed subdivision. Each house site is shown with a turnout parking area. The shared portion of driveway is shown at 16' in width. The individual lot driveways are shown at 12' in width, with the exception of a small section (40'+/-) leading to the Lot 2 house site. The reduced section of driveway is reduced to 10' in width to protect the adjacent undisturbed wetland buffers from impacts. The total length of the driveway to Lot 2 is only 700'+/- and therefore separate pull off turnouts are not required per the Fire Dept guidance on driveways.

The lots are proposed with on-site water/wastewater systems. A concurrent application is being submitted to State of VT Drinking Water and Groundwater Protection Division. A WW permit for the proposed systems will be required prior to construction and is anticipated to be received in January 2026.

The project has been designed to minimize and avoid impacts to the Class II wetland on the property. An undisturbed 50' wetland buffer is shown. The Class II wetland has been delineated and confirmed by the State of VT (Summer 2025). No impact to the wetland or wetland buffer is required for this project as proposed. The preserved Class II wetland area on the property results in a minimum of 1.9+/- acres of open space provided with the project. Please note that this area does not include the undisturbed 50' buffer.

The project has also been designed to minimize the creation of impervious surfaces. By utilizing the shared driveway approach, the project creates less than a ½ acre of impervious surface. Therefore, a State of Vermont stormwater discharge permit is not required. The project driveway will drain to the low point on the site, eventually to the wetland buffer and wetland area. The project driveway does not drain to Gilcrist Rd so no impact is anticipated to result to the town highway. An on-site stormwater collection area is shown on the enclosed plans. It will capture impervious surface run off from the shared driveway and store and treat it prior to discharge to the adjacent wetland buffer. Please note that a small section of culvert is required for the single driveway access to Lot 2, as shown on the plans.

A State of Vermont Construction General Permit (CPG) (9020) for erosion prevention and control is required for full build out of this project prior to construction. We request that a permit condition stating that an EPSC plan and a CGP permit (or engineers letter determining a CGP is not required) be submitted to the zoning office prior to any earth moving activities on the site.

Site clearing is proposed as shown on the enclosed site plan. Naturally forested buffers will be retained throughout the site to promote natural shade and privacy for the lots.

Thank you in advance for your time in considering this matter. We request that you proceed with scheduling this application for the soonest possible Development Review Board (DRB) meeting in 2026. Grenier Engineering, PC will be responsible for all permit matters, including neighbor notifications, so please send all information to Grenier Engineering, PC.



Respectfully,

A handwritten signature in black ink, appearing to read 'Chris Austin'.

Chris Austin  
Permit Coordinator  
Grenier Engineering, PC



**PERMIT APPLICATION  
DRIVEWAY ENTRANCE PERMIT  
TOWN OF STOWE  
PUBLIC WORKS DEPARTMENT (PWD)  
PO Box 730  
Stowe VT 05672**

**OWNER/APPLICANT INFORMATION**

Property Owner: Edward Grenier & Rosalie Maloney

Mailing Address:

Phone Numbers: Day: \_\_\_\_\_ Cell: \_\_\_\_\_

Email Address:

**CONTRACTOR/AGENT INFORMATION (if different from Owner):**

Contractor/Agent: John D. Grenier, PE

Mailing Address: PO Box 445  
Waterbury, VT 05676

Phone Number: Day: 802-244-6413 Cell: \_\_\_\_\_

Email Address: John@greniereengineering.com & Chris@greniereengineering.com

**PROPERTY INFORMATION:**

Physical Address of Property: 0 Gilchrist Rd

Tax Map / Parcel Number: 07-330-010

Owner/Applicant:

Edward J. Grenier  
(Signature) 10/16/25

Contractor/Agent:

\_\_\_\_\_  
(Signature)  
(Date)

**GENERAL CONDITIONS**

1. Permit Application Fee = \$100 (non refundable) payable to the Town of Stowe.
2. Provide a plan or sketch depicting the proposed driveway and stake the location in the field for inspection.
3. All Driveway Entrances shall comply with the VTrans. Standard Drawing B-71 reproduced on the reverse side of this permit.
4. Driveway Entrance construction shall be reviewed and approved by DPW prior to issuance of a Zoning Certificate of Occupancy.
5. Permit expires 2 years after date of approval if driveway entrance is not constructed.

**SPECIAL CONDITIONS**

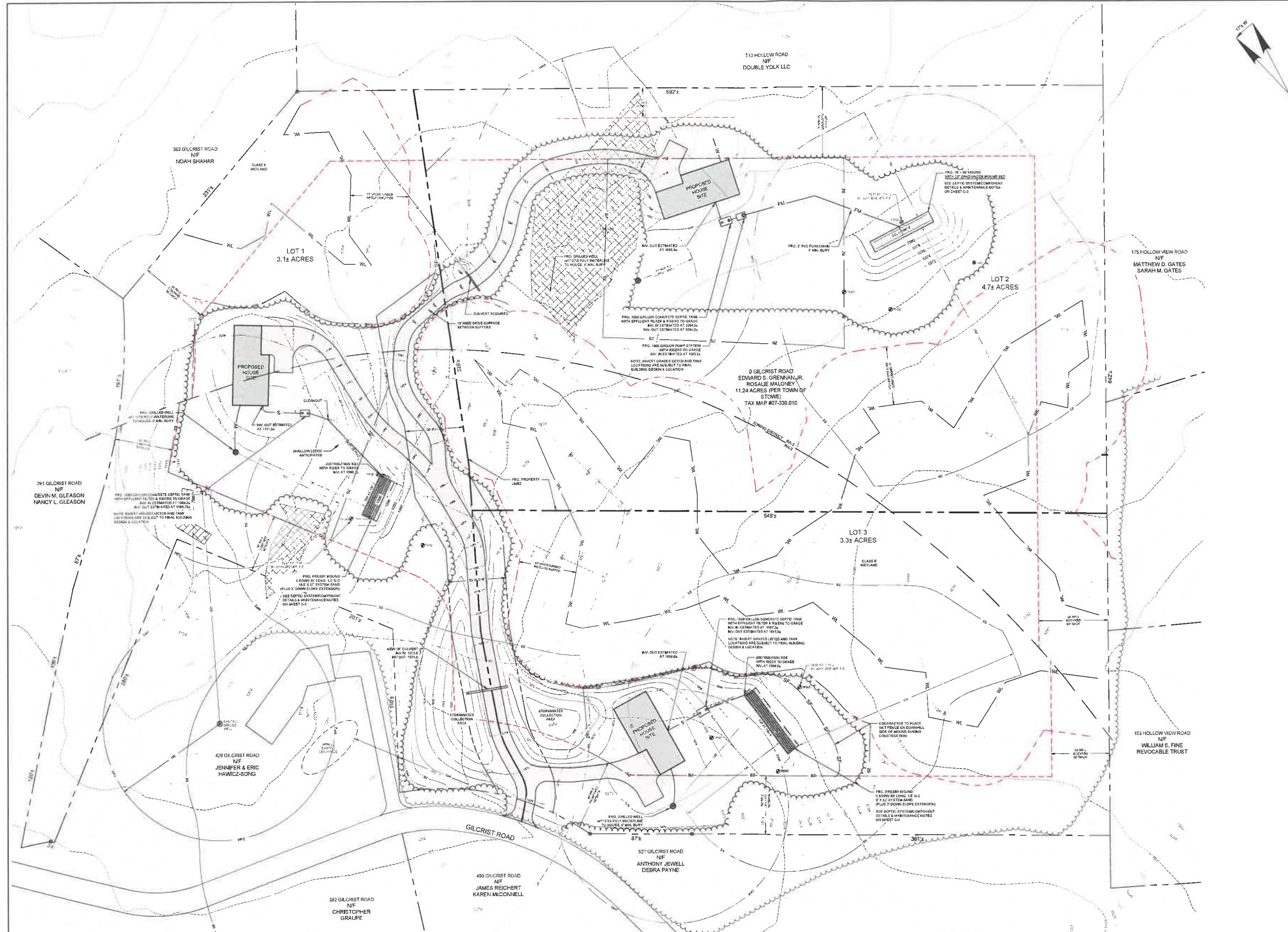
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\_\_\_\_\_

**PERMIT APPROVAL**

This Driveway Entrance Permit Application is hereby approved  
subject to the General Conditions and Special Conditions noted herein

Christopher J. O'Neil  
(Name)  
Deputy Dir. Public Works  
(Title-Authorized Representative)

Christopher J. O'Neil  
(Signature)  
10/16/2025  
(Date)



## LOCUS MAP

THIS IS NOT A BOUNDARY SURVEY  
PROPERTY LINES SHOWN ARE APPROXIMATE ONLY AND WERE NOT  
SURVEYED BY THIS OFFICE. THEY ARE BASED ON A PREVIOUS MAP  
BY J. PHILLIP RICH DATED SEPT. 1971 AND SOME EVIDENCE FOUND IN  
THE FIELD.

**CONTOUR NOTE**  
EXISTING LIDAR CONTOURS BASED ON INFORMATION TAKEN FROM THE  
VERMONT CENTER FOR GEOGRAPHIC INFORMATION (VCGI) AND WERE NOT  
SURVEYED BY THIS OFFICE.

**WETLAND NOTE**  
WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY WHEELER ENVIRONMENTAL SERVICES ON APRIL 29, 2025.  
THE CLASS II WETLANDS SHOWN WAS FIELD DELINEATED BY BRAD WHEELER AND CONFIRMED BY SHANNON MORRISON, STATE OF VT DISTRICT ECOLOGIST - SUMMER 2025. NO WETLAND PERMIT IS REQUIRED FOR THIS LAYOUT AS NO DISTURBANCE TO THE WETLAND OR ASSOCIATED UNDISTURBED 50' BUFFER IS PROPOSED.

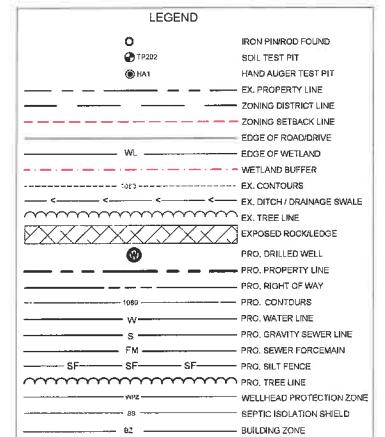
**OPEN SPACE NOTE**  
OPEN SPACE IS NOT REQUIRED BY ZONING REGULATIONS FOR THIS SUBDIVISION, BUT NOTE THAT PROJECT INCLUDES 1.9± ACRES OF OPEN SPACE TO BE RETAINED IN WETLAND AREA.

**STORMWATER NOTE**  
PROJECT LAYOUT CREATES LESS THAN  $\frac{1}{2}$  ACRE OF IMPERVIOUS SURFACE, THEREFORE NO STATE PERMIT IS REQUIRED FOR THIS LAYOUT. STORMWATER SHEET FLOW TO VEGETATED AREAS AND BE COLLECTED AND STORED IN THE STORMWATER COLLECTION AREAS ALONG THE MAIN ACCESS DRIVE.

## ZONING TABLE

**ZONING TABLE**

- FRONTYARD SETBACK: 60' (RR-2) / 70' (RR-3)
- SIDEYARD SETBACK: 50' (RR-2) / 60' (RR-3)
- REARYARD SETBACK: 50' (RR-2) / 60' (RR-3)
- MAX BLDG. HEIGHT: 28'



SUBDIVISION NAME: GRENNAN  
PROPOSED OVERALL SITE PLAN

**NOTE - TYPICAL ALL LOTS**  
ALL SEWER SERVICE LINES  
TO BE 4" SDR 35 PVC  
GRAVITY SEWER  
MIN. GRADE = 2%  
MAX. GRADE = 20%  
CONTRACTOR TO PROVIDE  
4' OF COVER OVER SEWERLINE

NOTE - TYPICAL ALL LOTS.  
CONCEPTUAL HOUSE FOOTPRINT SHOWN.  
THE EXACT SIZE AND LOCATION OF FUTURE  
RESIDENCE IS UNKNOWN. FOOTPRINT SHOWN FOR  
PURPOSE OF Gaining STATE OF VERMONT WAiver PERMIT  
APPROVAL ONLY. BUILDING LOCATION MUST COMPLY  
WITH CHAPTER 1 EPR & LOCAL ZONING REGULATIONS

( IN FEET )

1 inch = 40 ft

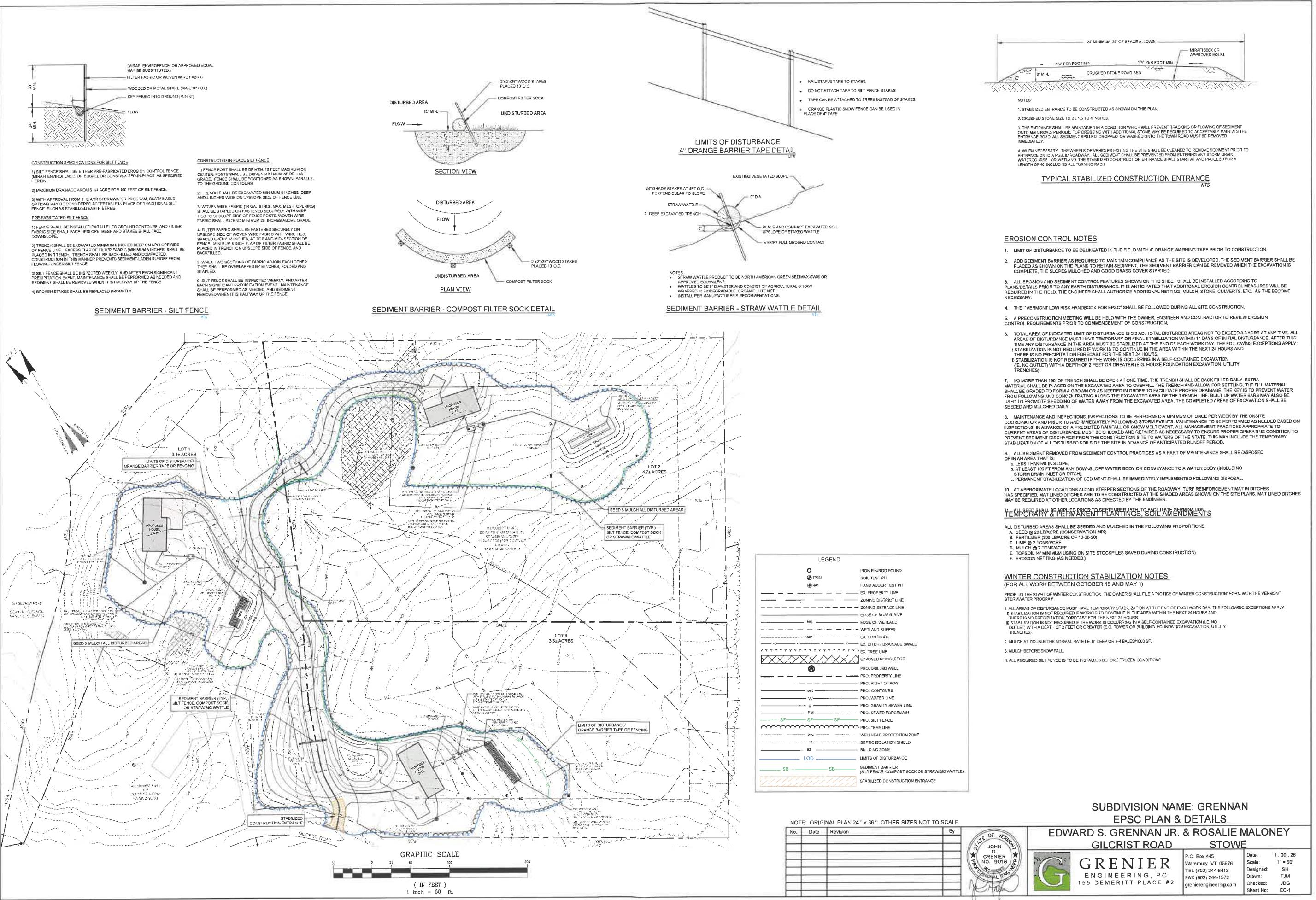


EDWARD S. GRENNAN JR. & ROSALIE MALONEY  
GILCRIST ROAD STOWE



**GRENIER**  
ENGINEERING, PC  
155 DEMERITT PLACE #2

D. Box 445  
Waterbury, VT 05676  
TEL (802) 244-6413  
FAX (802) 244-1572  
www.rainerengineering.com



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