



**Development Application**  
**Town of Stowe Planning & Zoning Department**  
**PO Box 730**  
**Stowe, VT 05672**  
**Telephone: (802) 253-6141**  
**This form serves as an application for all requested zoning and subdivision reviews.**

**Project #**  
(To be assigned)

**Date Received:**

**Property Owner Information**

Property Owner Edward S Grennan Jr and Rosalie Maloney

Mailing Street Address  
City, State and Zip

Telephone Number

Email

**Applicant Information (Relationship to Owner)**

- ☐ Owner (If so, skip to property information) ☐ Lessee ☐ Contractor  
☐ Architect/Designer ☒ Agent for Owner ☐ Under purchase contract  
**All information and correspondence is sent to applicant/contact.**

Applicant Name  
Company (if any)

John D. Grenier, PE- Grenier Engineering, PC

Mailing Street Address  
City, State and Zip

PO Box 445  
Waterbury VT 05676

chris@grenierengineering.com

Phone Number 802-244-6413

Email john@grenierengineering.com

**Property Information & Location**

Physical Address

0 Gilchrist Rd

Tax Map ID

07-330.010

Existing Use Undeveloped

Proposed Use 3 lot subdivision

**Please briefly describe the proposed project, intended use, and/or development request below:**

To subdivide the existing 11.2+/- acre lot owned by Grennan on Gilchrist Rd into 3 residential lots. An access driveway is proposed with one new curb cut on Gilchrist Rd. Each lot will have on-site septic systems and water supplies. Natural forest cover will be retained along property boundaries to provide screening for the project.

**For All Approvals:**

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if:

- ☒ Property Owner OR  
☐ Agent for Owner

Signature:

Date:

**Additional application information is required on reverse side: →**

**Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.**

### Construction Information

A site plan showing the proposed development is required if construction is involved.

***The applicant is responsible for determining property lines and setbacks.***

**Please answer the questions below for all projects:**

Will there be a new curb cut (driveway opening)?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will over ½ acre of land be graded or disturbed?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Will the development create an additional ½ acre of impervious surface?	<del>Yes <input checked="" type="checkbox"/></del> No <input checked="" type="checkbox"/> ← No
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**Maximum Bldg. Height: NA** \* Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

**Please answer the questions below for all projects involving residential dwellings:**

Existing Rooms:	# Bathrooms:	# Bedrooms:	# Kitchens:
New Rooms:	# Bathrooms:	# Bedrooms:	# Kitchens:

**Please complete the fee calculation below for all applications:**

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
<b>Fee:</b>		<b>\$</b>
Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.25	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
<b>Fee:</b>		<b>\$</b>
Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	
Conditional Use Review	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	250.00
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	450.00
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
<b>Fee:</b>		<b>\$</b>
<b>Signs</b>	\$70.00	
<b>Fee:</b>		<b>\$</b>
<b>Recording Fees /Stowe Land Records (set by state law)</b>		

Additional Recording Fee for decision notice	\$15.00/page	\$ 15.00
Additional Recording Fee for permit	\$15.00/page	\$ 15.00
Additional Recording Fee for Mylar	\$25.00/sheet	\$ 25.00
<b>Total Application Fee Including Recording</b>		<b>\$ 755.00</b>

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to [www.townofstowevt.org/townclerk/](http://www.townofstowevt.org/townclerk/) and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

**Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.**

<b>OFFICE USE ONLY</b>							
Date Received _____	<table border="1"> <tr> <td>Permit Fee</td> <td>\$ _____</td> </tr> <tr> <td>Recording Fee</td> <td>\$ _____</td> </tr> <tr> <td><b>TOTAL FEE</b></td> <td><b>\$ _____</b></td> </tr> </table>	Permit Fee	\$ _____	Recording Fee	\$ _____	<b>TOTAL FEE</b>	<b>\$ _____</b>
Permit Fee	\$ _____						
Recording Fee	\$ _____						
<b>TOTAL FEE</b>	<b>\$ _____</b>						
Zoning District _____	<input type="checkbox"/> Check # _____ <input type="checkbox"/> Cash						
Overlay District _____							
Approved Date _____							
Effective Date _____							
Expiration Date _____							
Denied Date _____	Referred _____						
Reason _____	Hearing Date _____						
<b>Comments/Conditions</b> _____ _____ _____ _____ _____ _____							
_____ <b>Zoning Administrator</b>	_____ <b>Date</b>						
For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at <a href="mailto:PandZ@stowevt.gov">PandZ@stowevt.gov</a>							

*The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.*



**GRENIER**  
ENGINEERING, PC

December 23, 2025- Revised January 8, 2026

Sarah Mcshane  
Kyle Hansen  
Kayla Hedberg  
Town of Stowe  
PO Box 730  
Stowe, VT 05672

RE: Proposed 3-Lot Subdivision on Gilcrist Rd. Grennan Property.

Dear Stowe Zoning Dept,  
Please find enclosed with this cover letter, the following documentation for the proposed 3-lot subdivision for Grennan on Gilcrist Rd:

1. Overall Site Plan by Grenier Engineering, PC- dated 12/16/25 (One full size 24"x 36" & 9 reduced size, 11" x 17" copies
2. Copy of Driveway Entrance Approval from Stowe Public Works
3. Town of Stowe Development Application
4. Fee check totaling \$755.00, made payable to Town of Stowe. This fee includes recording fee for the survey plat (one sheet).

The Grennan's are proposing to subdivide the existing 11.2+/- acres they own on Gilcrist Rd in Stowe. Please see the following details included in this letter, as well as the enclosed site plan.

The proposed subdivision will consist of the following:

- Lot 1- 3.1+/- acres
- Lot 2- 4.7+/- acres
- Lot 3- 3.3+/- acres

The project is located in two zoning districts with the portion of the property being closest to Gilcrist Rd being RR-2 and the rear of the property being RR-3. The district minimums for acreage and setbacks are met for each zoning district involved and are displayed on the enclosed site plan.

The lots are proposed with a shared driveway access. Included with this application is a Town of Stowe Driveway Entrance permit. The Public Works Dept has agreed that the proposed access point provides sufficient site distance and safe access to the project. It is anticipated that the deeds for the lots will include shared driveway maintenance terms based on pro rated share for each lot should they come under separate ownership. The proposed shared driveway does not contain any steep grades. The shared portion is proposed with a 3% to 4% grade. The individual driveway to Lot 1 does not exceed 12% grade and the individual driveways to Lot 2 and Lot 3 are less than 4%





grade. No steep grades are involved with the proposed subdivision. Each house site is shown with a turnout parking area. The shared portion of driveway is shown at 16' in width. The individual lot driveways are shown at 12' in width, with the exception of a small section (40'+/-) leading to the Lot 2 house site. The reduced section of driveway is reduced to 10' in width to protect the adjacent undisturbed wetland buffers from impacts. The total length of the driveway to Lot 2 is only 700'+/- and therefore separate pull off turnouts are not required per the Fire Dept guidance on driveways.

The lots are proposed with on-site water/wastewater systems. A concurrent application is being submitted to State of VT Drinking Water and Groundwater Protection Division. A WW permit for the proposed systems will be required prior to construction and is anticipated to be received in January 2026.

The project has been designed to minimize and avoid impacts to the Class II wetland on the property. An undisturbed 50' wetland buffer is shown. The Class II wetland has been delineated and confirmed by the State of VT (Summer 2025). No impact to the wetland or wetland buffer is required for this project as proposed. The preserved Class II wetland area on the property results in a minimum of 1.9+/- acres of open space provided with the project. Please note that this area does not include the undisturbed 50' buffer.

The project has also been designed to minimize the creation of impervious surfaces. By utilizing the shared driveway approach, the project creates less than a ½ acre of impervious surface. Therefore, a State of Vermont stormwater discharge permit is not required. The project driveway will drain to the low point on the site, eventually to the wetland buffer and wetland area. The project driveway does not drain to Gilcrist Rd so no impact is anticipated to result to the town highway. An on-site stormwater collection area is shown on the enclosed plans. It will capture impervious surface run off from the shared driveway and store and treat it prior to discharge to the adjacent wetland buffer. Please note that a small section of culvert is required for the single driveway access to Lot 2, as shown on the plans.

A State of Vermont Construction General Permit (CPG) (9020) for erosion prevention and control is required for full build out of this project prior to construction. We request that a permit condition stating that an EPSC plan and a CGP permit (or engineers letter determining a CGP is not required) be submitted to the zoning office prior to any earth moving activities on the site.

Site clearing is proposed as shown on the enclosed site plan. Naturally forested buffers will be retained throughout the site to promote natural shade and privacy for the lots.

Thank you in advance for your time in considering this matter. We request that you proceed with scheduling this application for the soonest possible Development Review Board (DRB) meeting in 2026. Grenier Engineering, PC will be responsible for all permit matters, including neighbor notifications, so please send all information to Grenier Engineering, PC.



**GRENIER**  
ENGINEERING, PC

Respectfully,

**Chris Austin**  
**Permit Coordinator**  
**Grenier Engineering, PC**



**PERMIT APPLICATION**  
**DRIVEWAY ENTRANCE PERMIT**  
**TOWN OF STOWE**  
**PUBLIC WORKS DEPARTMENT (PWD)**  
**PO Box 730**  
**Stowe VT 05672**

**OWNER/APPLICANT INFORMATION**

Property Owner: Edward Grenier & Rosalie Maloney  
Mailing Address: \_\_\_\_\_  
Phone Numbers: Day: \_\_\_\_\_ Cell: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**CONTRACTOR/AGENT INFORMATION (if different from Owner):**

Contractor/Agent: John D. Grenier, PE  
Mailing Address: Po Box 445  
Waterbury, VT 05676  
Phone Number: Day: 802-244-6413 Cell: \_\_\_\_\_  
Email Address: John@grenierengineering.com & Chris@grenierengineering.com

**PROPERTY INFORMATION:**

Physical Address of Property: 0 Gilchrist Rd  
Tax Map / Parcel Number: 07-330.010

Owner/Applicant: \_\_\_\_\_  
(Signature) Edward Grenier  
(Date) 10/14/25

Contractor/Agent: \_\_\_\_\_  
(Signature) \_\_\_\_\_  
(Date) \_\_\_\_\_

**GENERAL CONDITIONS**

1. Permit Application Fee = \$100 (non refundable) payable to the Town of Stowe.
2. Provide a plan or sketch depicting the proposed driveway and stake the location in the field for inspection.
3. All Driveway Entrances shall comply with the VTrans. Standard Drawing B-71 reproduced on the reverse side of this permit.
4. Driveway Entrance construction shall be reviewed and approved by DPW prior to issuance of a Zoning Certificate of Occupancy.
5. Permit expires 2 years after date of approval if driveway entrance is not constructed.

**SPECIAL CONDITIONS**

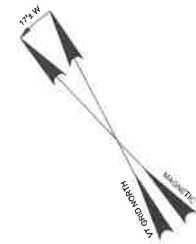
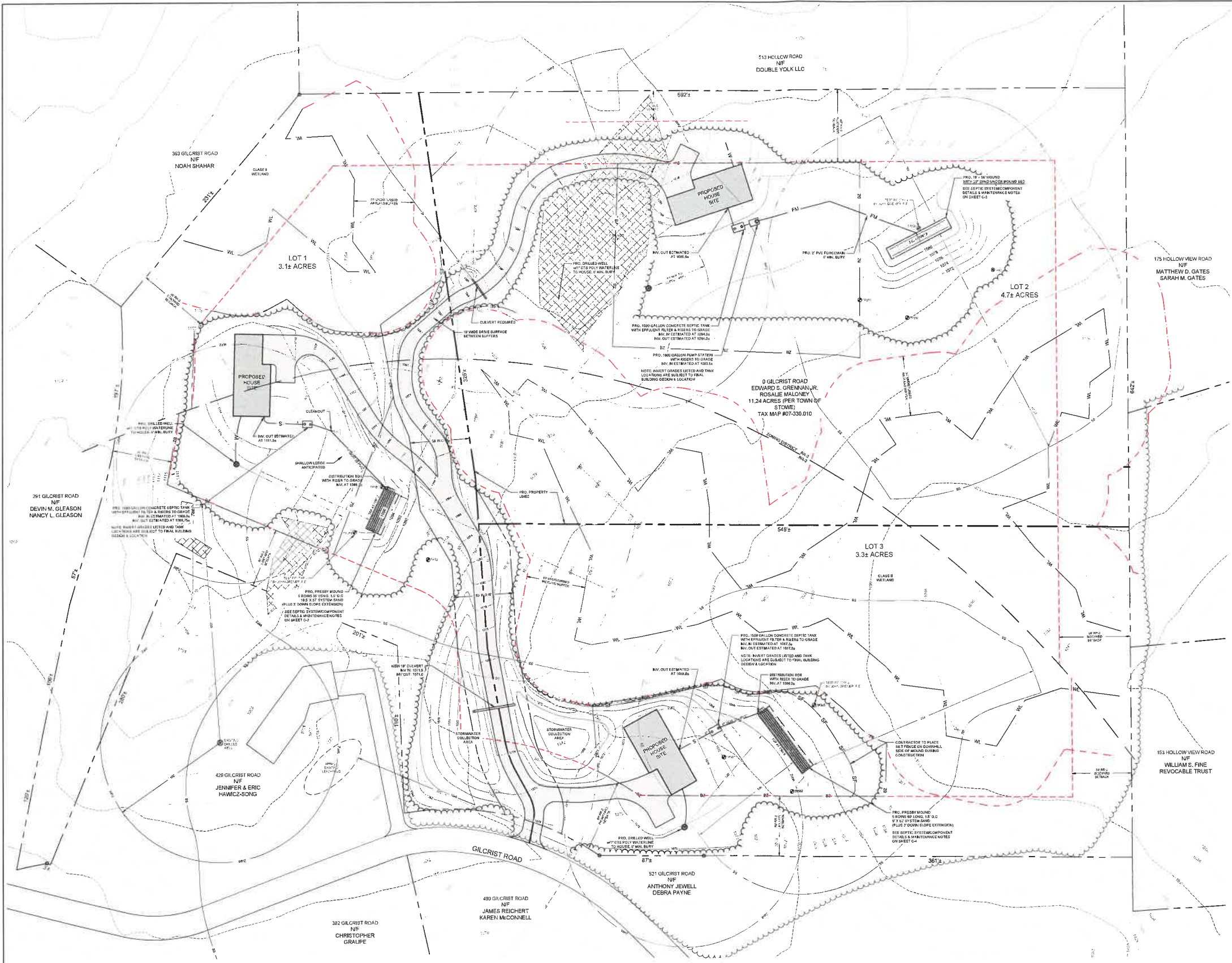
**PERMIT APPROVAL**

This Driveway Entrance Permit Application is hereby approved  
subject to the General Conditions and Special Conditions noted herein

CHRISTOPHER JORG  
(Name)  
Deputy Dir. Public Works  
(Title-Authorized Representative)

Stephen Kelly  
(Signature)  
11/2/25  
(Date)





LOCUS MAP  
NTS

THIS IS NOT A BOUNDARY SURVEY.  
PROPERTY LINES SHOWN ARE APPROXIMATE ONLY AND WERE NOT SURVEYED BY THIS OFFICE. THEY ARE BASED ON A PREVIOUS MAP BY J. PHILIP RICH DATED SEPT. 1971 AND SOME EVIDENCE FOUND IN THE FIELD.

**CONTOUR NOTE**  
EXISTING LIDAR CONTOURS BASED ON INFORMATION TAKEN FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION (VCGI) AND WERE NOT SURVEYED BY THIS OFFICE.

**WETLAND NOTE**  
WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY WHEELER ENVIRONMENTAL SERVICES ON APRIL 28, 2025.  
THE CLASS II WETLANDS SHOWN WAS FIELD DELINEATED BY BRAD WHEELER AND CONFIRMED BY SHANNON MORRISON, STATE OF VT DISTRICT ECOLOGIST - SUMMER 2025. NO WETLAND PERMIT IS REQUIRED FOR THIS LAYOUT AS NO DISTURBANCE TO THE WETLAND OR ASSOCIATED UNDISTURBED 50' BUFFER IS PROPOSED.

**OPEN SPACE NOTE**  
OPEN SPACE IS NOT REQUIRED BY ZONING REGULATIONS FOR THIS SUBDIVISION, BUT NOTE THAT PROJECT INCLUDES 1.9± ACRES OF OPEN SPACE TO BE RETAINED IN WETLAND AREA.

**STORMWATER NOTE**  
PROJECT LAYOUT CREATES LESS THAN 1/2 ACRE OF IMPERVIOUS SURFACE. THEREFORE NO STATE PERMIT IS REQUIRED FOR THIS LAYOUT. STORMWATER SHEET FLOW TO VEGETATED AREAS AND BE COLLECTED AND STORED IN THE STORMWATER COLLECTION AREAS ALONG THE MAIN ACCESS DRIVE.

**ZONING TABLE**  
ZONING DISTRICT: RR-2 & RR-3  
SETBACKS PER TABLE 6.2

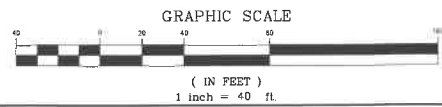
• FRONTYARD SETBACK:	60' (RR-2) / 70' (RR-3)
• SIDEYARD SETBACK:	50' (RR-2) / 60' (RR-3)
• REARYARD SETBACK:	50' (RR-2) / 60' (RR-3)
• MAX. BLDG. HEIGHT:	28'

**LEGEND**

○	IRON PIN/ROD FOUND
⊙	SOIL TEST PIT
⊕	HAND AUGER TEST PIT
---	EX. PROPERTY LINE
---	ZONING DISTRICT LINE
---	ZONING SETBACK LINE
---	EDGE OF ROAD/DRIVE
---	EDGE OF WETLAND
---	WETLAND BUFFER
---	EX. CONTOURS
---	EX. DITCH / DRAINAGE SWALE
---	EX. TREE LINE
---	EXPOSED ROCKLEDGE
○	PRO. DRILLED WELL
---	PRO. PROPERTY LINE
---	PRO. RIGHT OF WAY
---	PRO. CONTOURS
---	PRO. WATER LINE
---	PRO. GRAVITY SEWER LINE
---	PRO. SEWER FORCEMAIN
---	PRO. SILT FENCE
---	PRO. TREE LINE
---	WELL-HEAD PROTECTION ZONE
---	SEPTIC ISOLATION SHIELD
---	BUILDING ZONE

**NOTE - TYPICAL ALL LOTS:**  
ALL SEWER SERVICE LINES TO BE 4" SDR 35 PVC  
GRAVITY SEWER  
MIN. GRADE = 2%  
MAX. GRADE = 20%  
CONTRACTOR TO PROVIDE 4" COVER OVER SEWERLINE

**NOTE - TYPICAL ALL LOTS:**  
CONCEPTUAL HOUSE FOOTPRINT SHOWN. THE EXACT SIZE AND LOCATION OF FUTURE RESIDENCE IS UNKNOWN. FOOTPRINT SHOWN FOR PURPOSE OF DRAINING STATE OF VERMONT MAP PERMIT APPROVAL ONLY. BUILDING LOCATION MUST COMPLY WITH CHAPTER 1 EPR & LOCAL ZONING REGULATIONS



NOTE: ORIGINAL PLAN 24" x 36", OTHER SIZES NOT TO SCALE

No.	Date	Revision	By

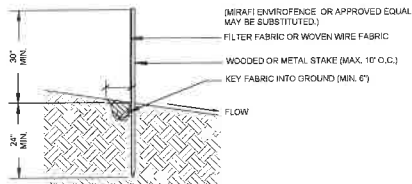


**SUBDIVISION NAME: GRENNAN**  
**PROPOSED OVERALL SITE PLAN**  
**EDWARD S. GRENNAN JR. & ROSALIE MALONEY**  
**GILCRIST ROAD STOWE**

**GRENIER ENGINEERING, PC**  
155 DEMERRIT PLACE #2  
P.O. Box 445  
Waterbury, VT 05676  
TEL (802) 244-6413  
FAX (802) 244-1572  
grenierengineering.com

Date: 1.15.26  
Scale: 1" = 40'  
Designed: JDG  
Drawn: TJM  
Checked: JDG  
Sheet No: C-1





#### CONSTRUCTION SPECIFICATIONS FOR SILT FENCE

- 1) SILT FENCE SHALL BE EITHER PRE-FABRICATED EROSION CONTROL FENCE (MIRAF ENVIROFENCE OR EQUAL), OR CONSTRUCTED IN PLACE, AS SPECIFIED HEREIN.
  - 2) MAXIMUM DRAINAGE AREA IS 1/4 ACRE FOR 100 FEET OF SILT FENCE.
  - 3) WITH APPROVAL FROM THE AWR STORMWATER PROGRAM, SUSTAINABLE OPTIONS MAY BE CONSIDERED ACCEPTABLE IN PLACE OF TRADITIONAL SILT FENCE, SUCH AS STABILIZED EARTH BERMS.
- PRE-FABRICATED SILT FENCE**
- 1) FENCE SHALL BE INSTALLED PARALLEL TO GROUND CONTOURS AND FILTER FABRIC SIDE SHALL FACE UPSLOPE. MESH AND STAKES SHALL FACE DOWNSLOPE.
  - 2) TRENCH SHALL BE EXCAVATED MINIMUM 6 INCHES DEEP ON UPSLOPE SIDE OF FENCE LINE. EXCESS FLAP OF FILTER FABRIC (MINIMUM 6 INCHES) SHALL BE PLACED IN TRENCH. TRENCH SHALL BE BACKFILLED AND COMPACTED. CONSTRUCTION IN THIS MANNER PREVENTS SEDIMENT-LOADED RUNOFF FROM FLOWING UNDER SILT FENCE.
  - 3) SILT FENCE SHALL BE INSPECTED WEEKLY, AND AFTER EACH SIGNIFICANT PRECIPITATION EVENT. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT SHALL BE REMOVED WHEN IT IS HALFWAY UP THE FENCE.
  - 4) BROKEN STAKES SHALL BE REPLACED PROMPTLY.

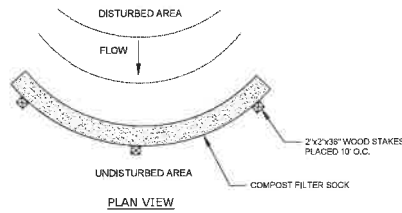
#### CONSTRUCTED IN PLACE SILT FENCE

- 1) FENCE POST SHALL BE DRIVEN 10 FEET MAXIMUM ON CENTER. POSTS SHALL BE DRIVEN MINIMUM 24" BELOW GRADE. FENCE SHALL BE POSITIONED AS SHOWN, PARALLEL TO THE GROUND CONTOURS.
- 2) TRENCH SHALL BE EXCAVATED MINIMUM 6 INCHES DEEP AND 4 INCHES WIDE ON UPSLOPE SIDE OF FENCE LINE.
- 3) WOVEN WIRE FABRIC (14 GA. 8 INCH MAX. MESH OPENING) SHALL BE STAPLED OR FASTENED SECURELY WITH WIRE TIES TO UPSLOPE SIDE OF FENCE POSTS. WOVEN WIRE FABRIC SHALL EXTEND MINIMUM 36 INCHES ABOVE GRADE.
- 4) FILTER FABRIC SHALL BE FASTENED SECURELY ON UPSLOPE SIDE OF WOVEN WIRE FABRIC WITH WIRE TIES SPACED EVERY 24 INCHES. AT TOP AND MID-SECTION OF FENCE. MINIMUM 6 INCH FLAP OF FILTER FABRIC SHALL BE PLACED IN TRENCH ON UPSLOPE SIDE OF FENCE AND BACKFILLED.
- 5) WHEN TWO SECTIONS OF FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- 6) SILT FENCE SHALL BE INSPECTED WEEKLY, AND AFTER EACH SIGNIFICANT PRECIPITATION EVENT. MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND SEDIMENT REMOVED WHEN IT IS HALFWAY UP THE FENCE.

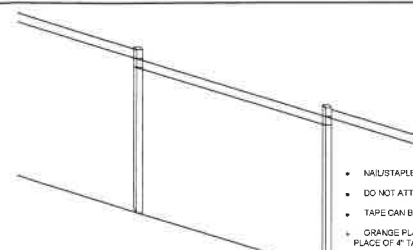
#### SEDIMENT BARRIER - SILT FENCE



#### SECTION VIEW



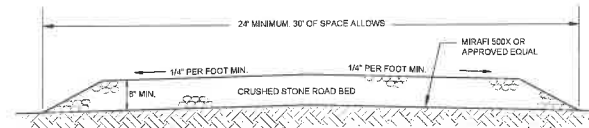
#### SEDIMENT BARRIER - COMPOST FILTER SOCK DETAIL



#### LIMITS OF DISTURBANCE 4" ORANGE BARRIER TAPE DETAIL

- NOTES:
- STRAW WATTLE PRODUCT TO BE NORTH AMERICAN GREEN SEDXMAX SWB9 OR APPROVED EQUIVALENT
  - WATTLES TO BE 9" DIAMETER AND CONSIST OF AGRICULTURAL STRAW WRAPPED IN BIODEGRADABLE ORGANIC JUTE NET
  - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

#### SEDIMENT BARRIER - STRAW WATTLE DETAIL



#### NOTES

1. STABILIZED ENTRANCE TO BE CONSTRUCTED AS SHOWN ON THIS PLAN.
2. CRUSHED STONE SIZE TO BE 1.5 TO 4 INCHES.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO MAIN ROAD. PERIODIC TOP DRESSING WITH ADDITIONAL STONE MAY BE REQUIRED TO ACCEPTABLY MAINTAIN THE ENTRANCE ROAD. ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO THE TOWN ROAD MUST BE REMOVED IMMEDIATELY.
4. WHEN NECESSARY, THE WHEELS OF VEHICLES EXITING THE SITE SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, WATERCOURSE, OR WETLAND. THE STABILIZED CONSTRUCTION ENTRANCE SHALL START AT AND PROCEED FOR A LENGTH OF 40' INCLUDING ALL TURNING RADI.

#### TYPICAL STABILIZED CONSTRUCTION ENTRANCE

#### EROSION CONTROL NOTES

1. LIMIT OF DISTURBANCE TO BE DELINEATED IN THE FIELD WITH 4" ORANGE WARNING TAPE PRIOR TO CONSTRUCTION.
2. ADD SEDIMENT BARRIER AS REQUIRED TO MAINTAIN COMPLIANCE AS THE SITE IS DEVELOPED. THE SEDIMENT BARRIER SHALL BE PLACED AS SHOWN ON THE PLANS TO RETAIN SEDIMENT. THE SEDIMENT BARRIER CAN BE REMOVED WHEN THE EXCAVATION IS COMPLETE, THE SLOPES MULCHED AND GOOD GRASS COVER STARTED.
3. ALL EROSION AND SEDIMENT CONTROL FEATURES SHOWN ON THIS SHEET SHALL BE INSTALLED ACCORDING TO PLANS/DETAILS PRIOR TO ANY EARTH DISTURBANCE. IT IS ANTICIPATED THAT ADDITIONAL EROSION CONTROL MEASURES WILL BE REQUIRED IN THE FIELD. THE ENGINEER SHALL AUTHORIZE ADDITIONAL NETTING, MULCH, STONE, CULVERTS, ETC., AS BECOME NECESSARY.
4. THE "VERMONT LOW RISK HANDBOOK FOR EPSC" SHALL BE FOLLOWED DURING ALL SITE CONSTRUCTION.
5. A PRECONSTRUCTION MEETING WILL BE HELD WITH THE OWNER, ENGINEER AND CONTRACTOR TO REVIEW EROSION CONTROL REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. TOTAL AREA OF INDICATED LIMIT OF DISTURBANCE IS 3.3 AC. TOTAL DISTURBED AREAS NOT TO EXCEED 3.3 ACRE AT ANY TIME. ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY:  
 I) STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.  
 II) STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (E.G. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. HOUSE FOUNDATION EXCAVATION, UTILITY TRENCHES).
7. NO MORE THAN 100' OF TRENCH SHALL BE OPEN AT ONE TIME. THE TRENCH SHALL BE BACK FILLED DAILY. EXTRA MATERIAL SHALL BE PLACED ON THE EXCAVATED AREA TO OVERFILL THE TRENCH AND ALLOW FOR SETTLING. THE FILL MATERIAL SHALL BE GRADED TO FORM A CROWN OR AS NEEDED IN ORDER TO FACILITATE PROPER DRAINAGE. THE KEY IS TO PREVENT WATER FROM FOLLOWING AND CONCENTRATING ALONG THE EXCAVATED AREA OF THE TRENCH LINE. BUILT UP WATER BARS MAY ALSO BE USED TO PROMOTE SHEDDING OF WATER AWAY FROM THE EXCAVATED AREA. THE COMPLETED AREAS OF EXCAVATION SHALL BE SEED AND MULCHED DAILY.
8. MAINTENANCE AND INSPECTIONS: INSPECTIONS TO BE PERFORMED A MINIMUM OF ONCE PER WEEK BY THE ONSITE COORDINATOR AND PRIOR TO AND IMMEDIATELY FOLLOWING STORM EVENTS. MAINTENANCE TO BE PERFORMED AS NEEDED BASED ON INSPECTIONS. IN ADVANCE OF A PREDICTED RAINFALL OR SNOW MELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE CHECKED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE. THIS MAY INCLUDE THE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS OF THE SITE IN ADVANCE OF ANTICIPATED RUNOFF PERIOD.
9. ALL SEDIMENT REMOVED FROM SEDIMENT CONTROL PRACTICES AS A PART OF MAINTENANCE SHALL BE DISPOSED OF IN AN AREA THAT IS:  
 a. LESS THAN 5% IN SLOPE.  
 b. AT LEAST 100' FT FROM ANY DOWNSLOPE WATER BODY OR CONVEYANCE TO A WATER BODY (INCLUDING STORM DRAIN INLET OR DITCH).  
 c. PERMANENT STABILIZATION OF SEDIMENT SHALL BE IMMEDIATELY IMPLEMENTED FOLLOWING DISPOSAL.
10. AT APPROXIMATE LOCATIONS ALONG STEEPER SECTIONS OF THE ROADWAY, TURF REINFORCEMENT MAT IN DITCHES HAS SPECIFIED. MAT LINED DITCHES ARE TO BE CONSTRUCTED AT THE SHADED AREAS SHOWN ON THE SITE PLANS. MAT LINED DITCHES MAY BE REQUIRED AT OTHER LOCATIONS AS DIRECTED BY THE ENGINEER.

#### TEMPORARY & PERMANENT PLANTINGS, SOIL AMENDMENTS

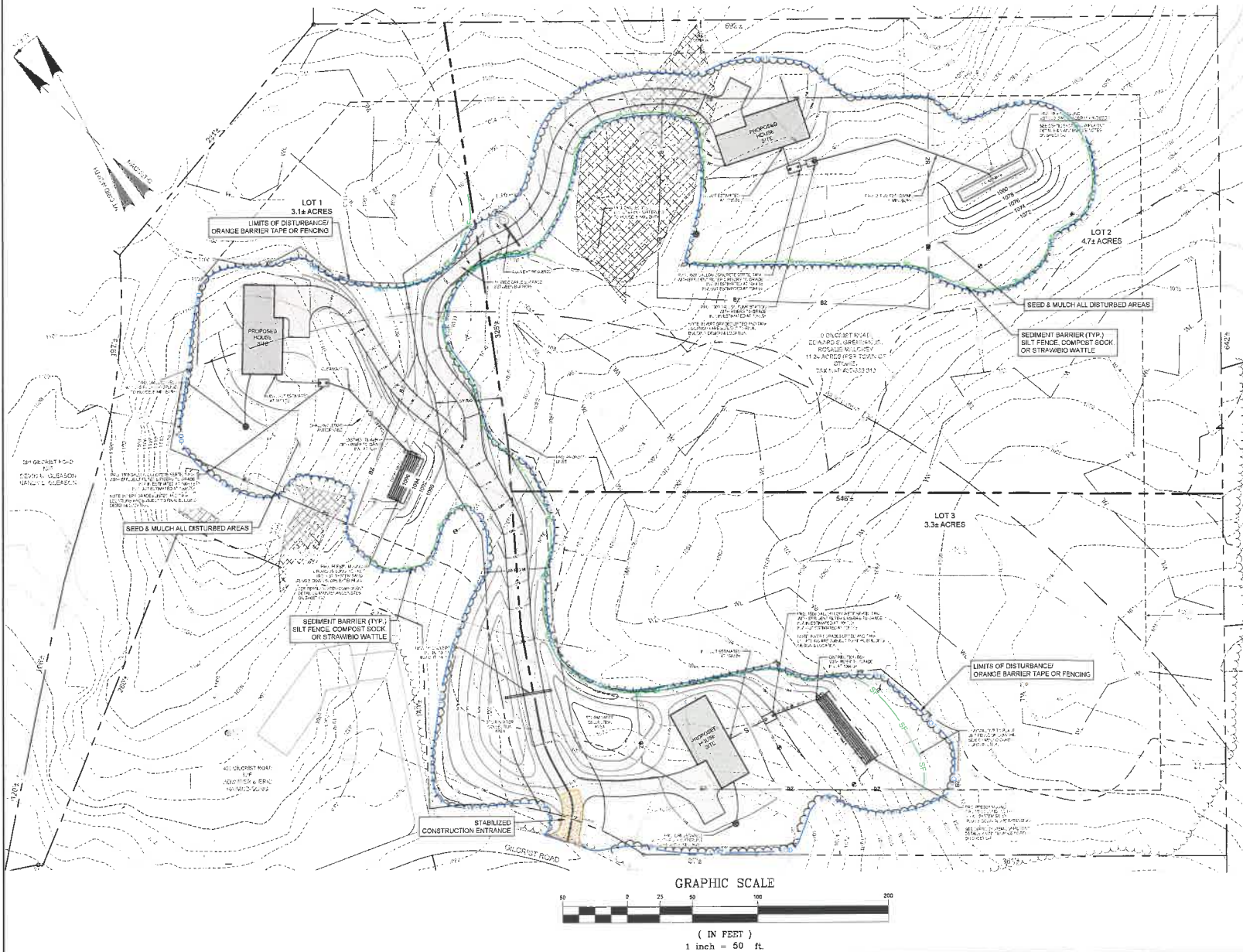
ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IN THE FOLLOWING PROPORTIONS:

- A. SEED @ 20 LB/ACRE (CONSERVATION MIX)
- B. FERTILIZER (300 LB/ACRE OF 10-20-20)
- C. LIME @ 2 TONS/ACRE
- D. MULCH @ 2 TONS/ACRE
- E. TOPSOIL (4" MINIMUM USING ON SITE STOCKPILES SAVED DURING CONSTRUCTION)
- F. EROSION NETTING (AS NEEDED)

#### WINTER CONSTRUCTION STABILIZATION NOTES: (FOR ALL WORK BETWEEN OCTOBER 15 AND MAY 1)

PRIOR TO THE START OF WINTER CONSTRUCTION, THE OWNER SHALL FILE A "NOTICE OF WINTER CONSTRUCTION" FORM WITH THE VERMONT STORMWATER PROGRAM.

1. ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY STABILIZATION AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY:  
 a. STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.  
 b. STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (E.G. NO OUTLET) WITH A DEPTH OF 2 FEET OR GREATER (E.G. TOWER OR BUILDING FOUNDATION EXCAVATION, UTILITY TRENCHES).
2. MULCH AT DOUBLE THE NORMAL RATE I.E. 6" DEEP OR 2-4 BALES/1000 SF.
3. MULCH BEFORE SNOW FALL.
4. ALL REQUIRED SILT FENCE IS TO BE INSTALLED BEFORE FROZEN CONDITIONS



LEGEND	
○	IRON PINNED FOUND
●	SOIL TEST PIT
⊙	HAND AUGER TEST PIT
---	EX. PROPERTY LINE
---	ZONING DISTRICT LINE
---	ZONING SETBACK LINE
---	EDGE OF ROAD/DRIVE
---	EDGE OF WETLAND
---	WETLAND BUFFER
---	EX. CONTOURS
---	EX. DITCH/DRAINAGE SWALE
---	EX. TREE LINE
---	EXPOSED ROCKLEDGE
---	PRO. DRILLED WELL
---	PRO. PROPERTY LINE
---	PRO. RIGHT OF WAY
---	PRO. CONTOURS
---	PRO. WATER LINE
---	PRO. GRAVITY SEWER LINE
---	PRO. SEWER FORCEMAIN
---	PRO. SILT FENCE
---	PRO. TREE LINE
---	WELLHEAD PROTECTION ZONE
---	SEPTIC ISOLATION SHIELD
---	BUILDING ZONE
---	LIMITS OF DISTURBANCE
---	SEDIMENT BARRIER (SILT FENCE, COMPOST SOCK OR STRAWBIO WATTLE)
---	STABILIZED CONSTRUCTION ENTRANCE

NOTE: ORIGINAL PLAN 24" x 36". OTHER SIZES NOT TO SCALE

No.	Date	Revision	By



**GRENIER**  
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Date: 1.09.26  
 Scale: 1" = 50'  
 Designed: SH  
 Drawn: TJM  
 Checked: JDG  
 Sheet No: EC-1