



**Development Application**  
**Town of Stowe Planning & Zoning Department**  
**PO Box 730**  
**Stowe, VT 05672**  
**Telephone: (802) 253-6141**  
**This form serves as an application for all requested zoning and subdivision reviews.**

**Project #**  
(To be assigned)

**Date Received:**

**Property Owner Information**

Property Owner	JON AND DANI ESKOW	
Mailing Street Address City, State and Zip	342 LOWER SANBORN RD, STOWE, VT 05672	
Telephone Number	Email	

**Applicant Information** (Relationship to Owner)

Owner (If so, skip to property information)  Lessee  Contractor  
 Architect/Designer  Agent for Owner  Under purchase contract

*All information and correspondence is sent to applicant/contact.*

Applicant Name Company (if any)	
Mailing Street Address City, State and Zip	
Phone Number	Email

**Property Information & Location**

Physical Address	342 LOWER SANBORN RD, STOWE, VT 05672	
Tax Map ID	11-83.070	
Existing Use <b>SINGLE-FAMILY RESIDENCE</b>	Proposed Use <b>SINGLE-FAMILY RESIDENCE</b>	

**Please briefly describe the proposed project, intended use, and/or development request below:**

PROPOSED 25' REDUCTION OF EXISTING 150' DOUBLE PERIMETER SETBACK ON  
LOT 7 OF ORIGINAL DISHMILL SUBDIVISION (642 LOWER SANBORN ROAD).

**For All Approvals:**

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if: <input checked="" type="checkbox"/> Property Owner OR <input type="checkbox"/> Agent for Owner	Signature:  Date: November 20, 2025
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**Additional application information is required on reverse side: ➔**

**Note:** Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

### Construction Information

A site plan showing the proposed development is required if construction is involved.

***The applicant is responsible for determining property lines and setbacks.***

#### Please answer the questions below for all projects:

Will there be a new curb cut (driveway opening)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will over 1/2 acre of land be graded or disturbed?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will the development create an additional 1/2 acre of impervious surface?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Maximum Bldg. Height: 22' 4"\* Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

#### Please answer the questions below for all projects involving residential dwellings:

Existing Rooms:	# Bathrooms: 3.5	# Bedrooms: 4	# Kitchens: 1
New Rooms:	# Bathrooms: 3.5	# Bedrooms: 5	# Kitchens: 1

#### Please complete the fee calculation below for all applications:

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
<b>Fee:</b>		\$
Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.25	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
<b>Fee:</b>		\$
Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	<b>\$250</b>
Conditional Use Review	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
<b>Fee:</b>		\$
<b>Signs</b>	\$70.00	
<b>Fee:</b>		\$
<b>Recording Fees /Stowe Land Records (set by state law)</b>		



Civil Engineers • Land Use Planners

November 11, 2025

Sarah McShane, Zoning Director and Administrator  
Town of Stowe, Akeley Memorial Building  
67 Main Street, Stowe, VT 05672

Subject: Jonathan & Danielle Eskow  
Double Setback Reduction Waiver Request  
342 Lower Sanborn Road, Stowe, Vermont

Project #25058

Dear Sarah,

Please find attached an application for Waiver Request for a reduction in the double perimeter setback on the existing parcel at 342 Lower Sanborn Road, which was known as Lot 7 of the original Dishmill Farm Subdivision in 1993. The current landowners, Jonathan & Danielle Eskow, would like to construct an addition to their existing house and this includes an extension of the building to the north into the existing double perimeter setback. We are requesting a twenty-five-foot (25') reduction to the existing 150' double setback.

Section 13.4(5)B of the rules allows for the reduction of the double setbacks for PRDs if the Development Review Board (DRB) is in agreement with the following aspects of waiver allowance:

1. *The double setback is not found necessary to protect the privacy of neighboring properties due to topography, existing vegetation to remain, proposed landscaping or other mitigation measures being proposed by the applicant.*
  - a. The requested 25-foot reduction in the double setback is minimal (17% of 150').
  - b. The property would maintain 125' of existing thick wooded buffer to the abutting uphill property to the north.
    - i. This property, owned by 162351 CANADA INC, is a vacant and heavily wooded ±40-acre parcel with apparent access off Robinson Springs Road.
  - c. Conclusion: the 25-feet reduction is NOT necessary to protect the privacy of neighboring properties due to topography and existing vegetation to remain.
2. *The double setback is not found necessary to protect the scenic or natural beauty of the area, aesthetics, historic sites or rare and irreplaceable natural areas; and*
  - a. The reduction in the double perimeter setback is requested in order to allow for an addition to the building and will result in only a minimal amount of clearing.
  - b. The setback reduction, and associated building addition, is minimal in comparison to the overall wooded setback area and will not have any significant impacts on the scenic or natural beauty of the area, aesthetics, historic sites, or rare and irreplaceable natural areas.
3. *The double setback is not found necessary to protect the character of the area affected as defined by the purpose of the zoning district.*
  - a. The requested reduction of the setback is on the rear side of the existing house, looking from the public vantage point (Lower Sanborn Road) and will not affect the character of the area.

b. The 25' setback reduction will not have an impact on the purposes of the RR5 Zoning District, which are to:

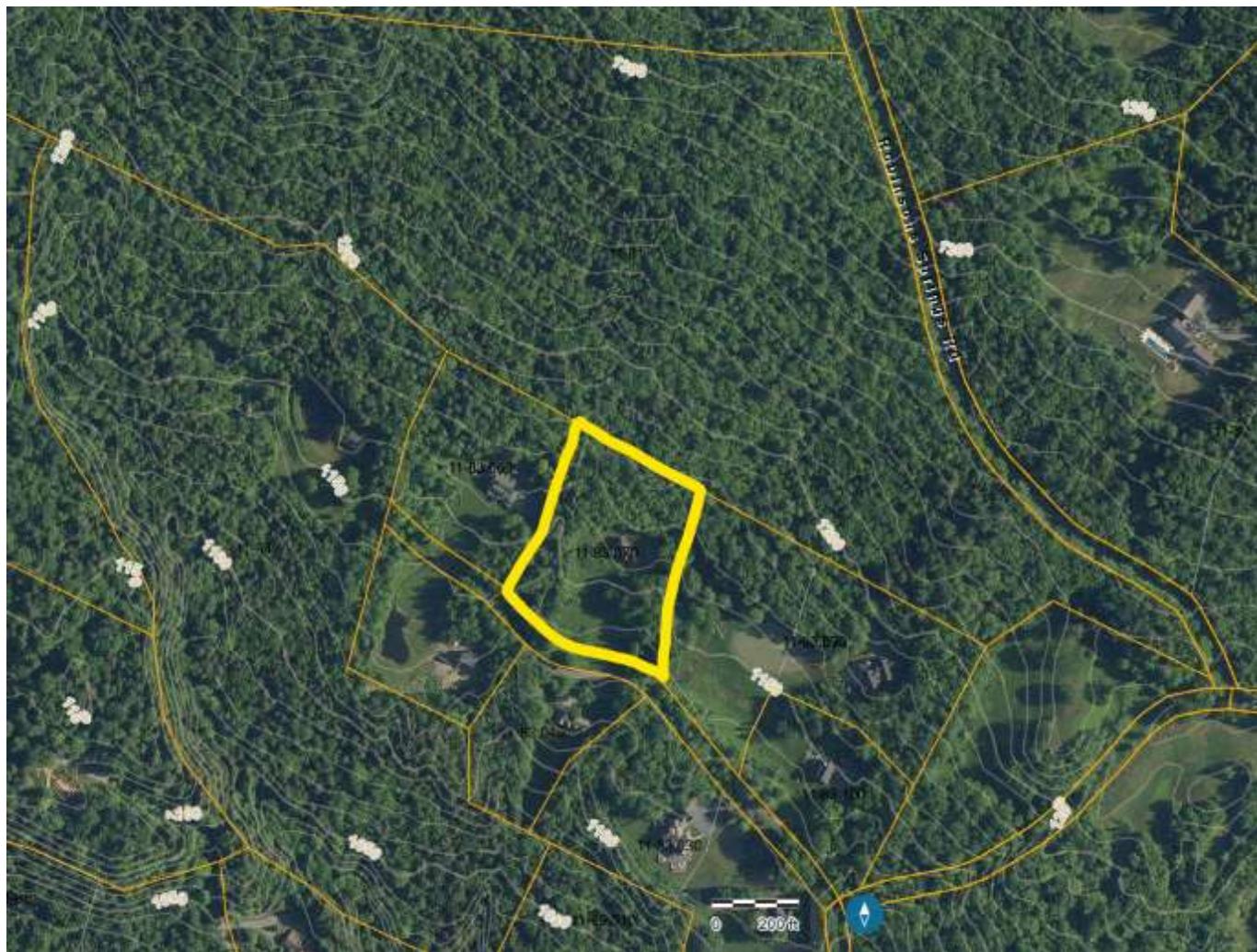
- i. To maintain the natural and scenic qualities which create and preserve the best possible environment for residential development.
- ii. To promote the preservation of adequate open space through carefully planned cluster types of development.
- iii. To maintain the rural character and beauty of the existing neighborhoods.
- iv. To discourage intensive development in areas where slopes or soil conditions dictate otherwise.
- v. To limit land uses to moderate to low-density residential development, farming and forestry, outdoor recreation and home occupations.

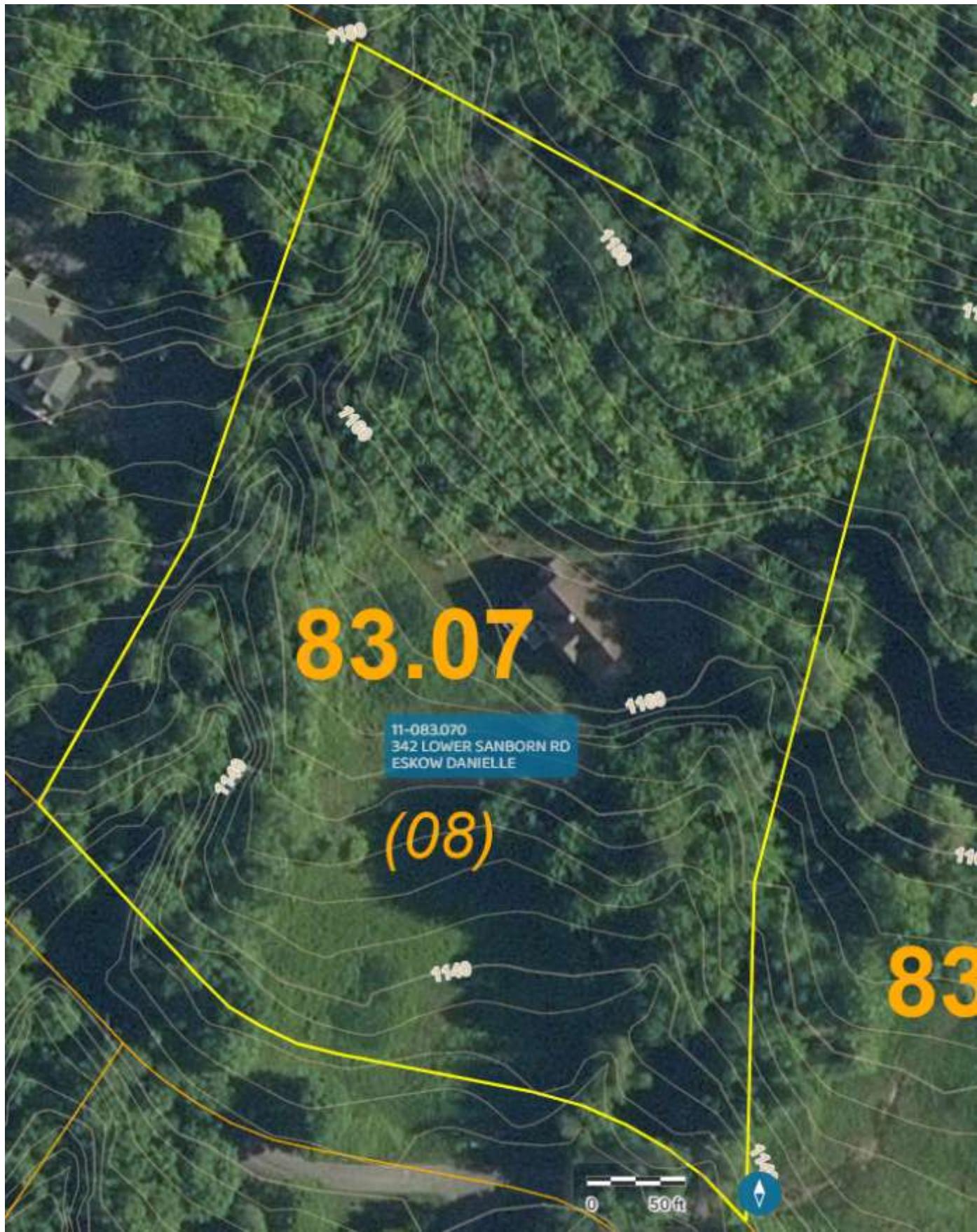
Please let us know if you have any questions or comments. Thank you for your time!

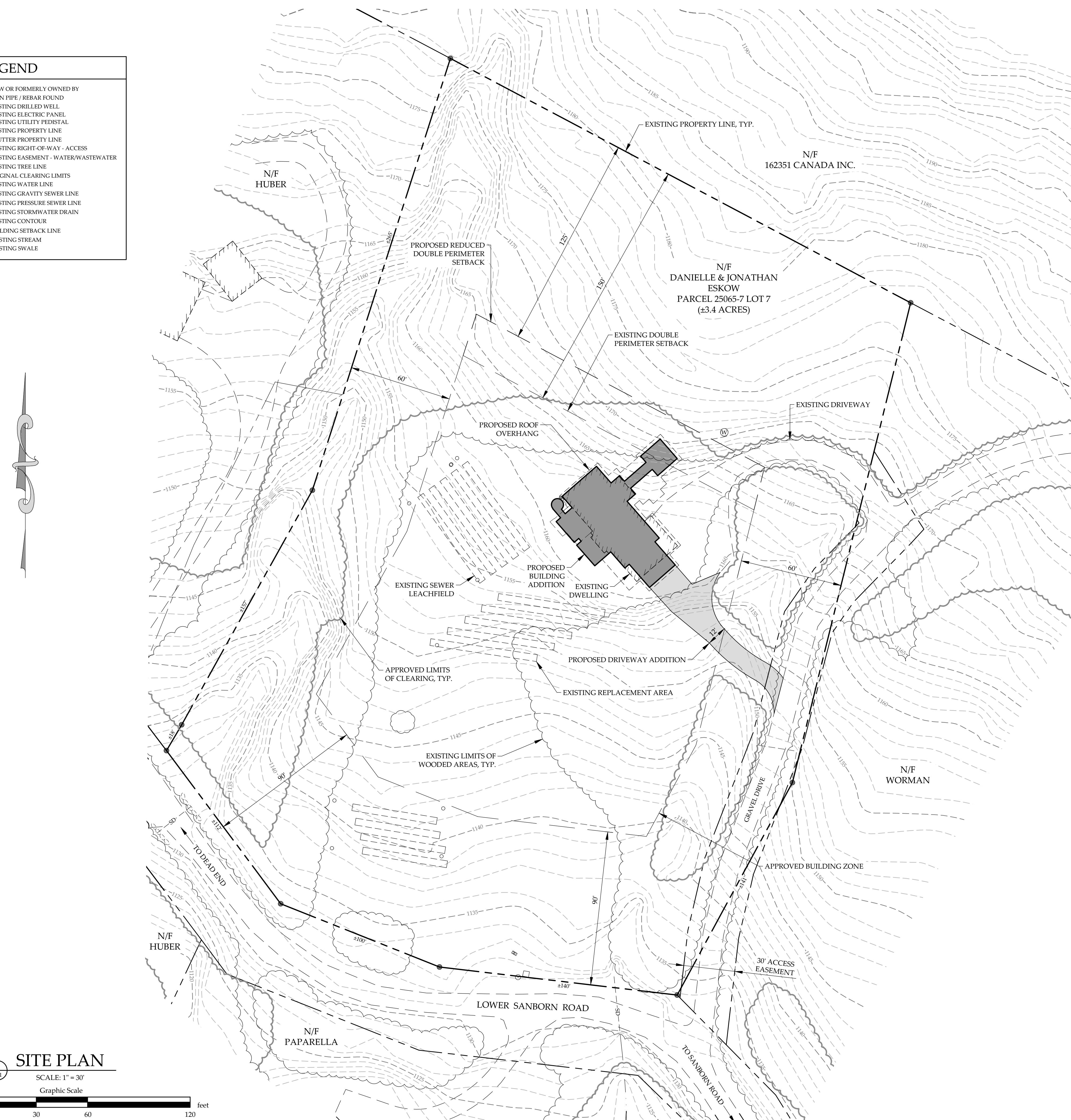
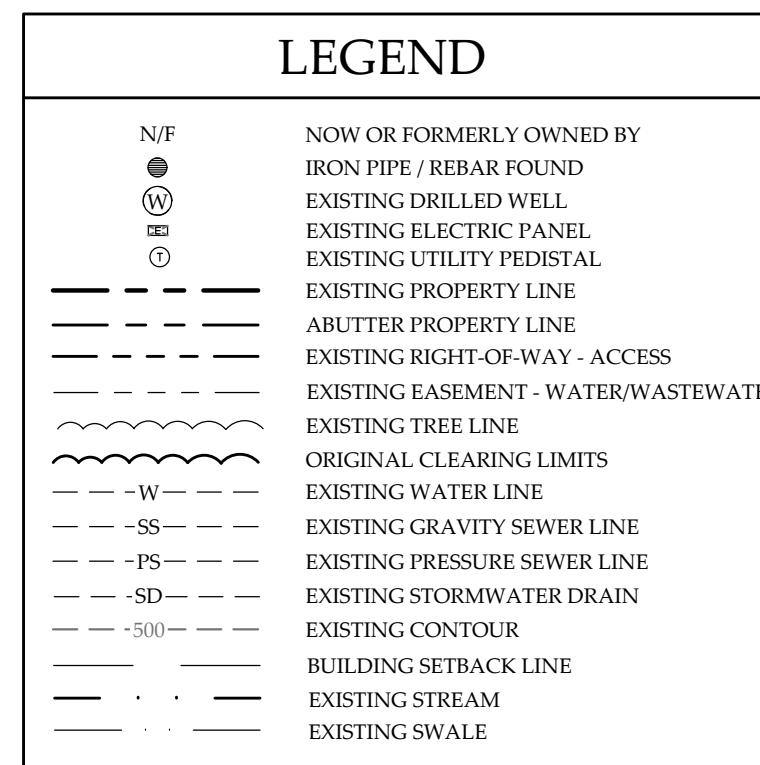
Sincerely,  
Tyler Mumley, P.E.



Mumley Engineering, Inc.







## SITE LOCATION MAP

TH NOT TO SCALE

POSE OF PLAN:

PROPOSED REDUCTION TO DOUBLE PERIMETER SETBACK

### ZONING NOTES:

DISTRICT: RR5  
MINIMUM LOT SIZE: 5 ACRES  
MINIMUM LOT WIDTH: 300 FT  
SETBACKS:  
FRONT = 70 FT  
REAR = 75 FT  
SIDE = 75 FT

OWNER OF RECO

DANIELLE & JONATHAN ESKOW

## PLAN REFERENCES:

- 1) TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 06-04-25.
- 2) INFORMATION TAKEN FROM PLAN ENTITLED "DISHMILL FARM, SHEET 3 OF 3", LAST REVISED 03/04/93, APPROVED BY STOWE PLANNING COMMISSION ON 04/05/93, RECORDED AS BOOK 10, PAGE 76 ON 06/07/95, PREPARED BY GLENN TOWNE.
- 3) INFORMATION, INCLUDING APPROVED CLEARING LIMITS, TAKEN FROM PLAN ENTITLED "DISHMILL FARM - SITE PLAN, LOWER SANBORN ROAD - STOWE", LAST REVISED 04/20/95, RECORDED AS BOOK 10, PAGE 77 ON 06/07/95, PREPARED BY CHARLES GRENIER CONSULTING ENGINEER, P.C.
- 4) PARCEL, EASEMENTS AND SITE INFORMATION TAKEN FROM PERMIT #WW-5-5240, DATED 1-8-10, SHOWN ON PLAN ENTITLED "DISHMILL FARMS SUBDIVISION, BRYAN & SANDRA HUBER LOTS 5 & 6, LOWER SANBORN ROAD, STOWE", DATED 8-07-09, PREPARED BY CHARLES GRENIER CONSULTING ENGINEER, P.C.
- 5) PARCEL, EASEMENTS AND SITE INFORMATION PROVIDED ELECTRONICALLY AND TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN, LANDS OF DANIELLE & JONATHAN ESKOW", DATED 6/24/25, JOB # STOW0033, PREPARED BY BUTTON PROFESSIONAL LAND

NOTES

- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #5. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

# SITE PLAN

## DANIELLE & JONATHAN ESKOW

## 342 LOWER SANBORN ROAD

## STOWE, VERMONT



PROJECT NO.....  
DRAWN BY.....WEH  
CHECKED BY.....  
SCALE.....1  
DATE.....10

SHEET NO. **C-1**  
1 OF 1 SHEETS

# ESKOW RESIDENCE



TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

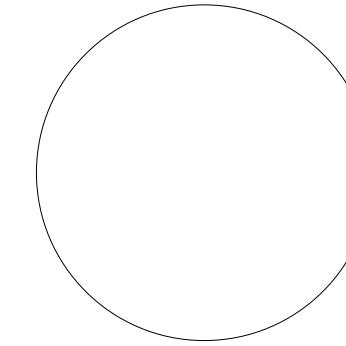
NOT FOR CONSTRUCTION

## DRAWING INDEX

TOWN OF STOWE PERMIT		
JULY 21, 2025		
SHEET	SHEET NAME	SCALE
G-000	DRAWING INDEX	NA X
G-001	GENERAL NOTES/ ABBREVIATIONS	NA X
<b>SITE SURVEY</b>		
001	EXISTING CONDITIONS SITE PLAN	1:40
<b>CIVIL ENGINEERING</b>		
C-1	SITE PLAN	1:30 X
<b>ARCHITECTURAL DEMOLITION</b>		
AD-101	ARCHITECTURAL DEMO PLAN - LEVEL 1	1/4" = 1'-0" X
AD-102	ARCHITECTURAL DEMO PLAN - LEVEL 2	1/4" = 1'-0" X
<b>ARCHITECTURE</b>		
A-101	CONSTRUCTION PLAN - LEVEL 1	1/4" = 1'-0" X
A-102	CONSTRUCTION PLAN - LEVEL 2	1/4" = 1'-0" X
A-103	ROOF PLAN	1/4" = 1'-0"
A-111	RCP - LEVEL 1	1/4" = 1'-0" X
A-112	RCP - LEVEL 2	1/4" = 1'-0" X
A-201	BUILDING ELEVATIONS	1/4" = 1'-0" X
A-202	BUILDING ELEVATIONS	1/4" = 1'-0" X

**TOWN OF STOWE - DRAFT**  
**OCTOBER 17, 2025**

**NOT FOR CONSTRUCTION**



ARCHITECT:  
**MICHAEL CASEY ARCHITECT, PLLC**  
25 Main Street  
Stowe, VT 05672  
T: 404.316.1607

CIVIL ENGINEER:  
**MUMLEY ENGINEERING, INC.**  
46 Hutchins Street  
Morrisville, VT 05661  
T: 802.881.6314

STRUCTURAL ENGINEER:  
**WEBB STRUCTURAL SERVICES**  
670 Main Street  
Reading, MA 01867  
T: 781.779.1330

LANDSCAPE DESIGNER:  
**AMBLER DESIGN, LLC**  
PO Box 1492  
Stowe, VT 05672  
T: 802.253.4536

CONSTRUCTION MANAGER:  
**RT HARRIS CUSTOM BUILDERS**  
38 Summer Street, PO Box 106  
Lynnfield, MA 01940  
T: 781.844.6073

BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

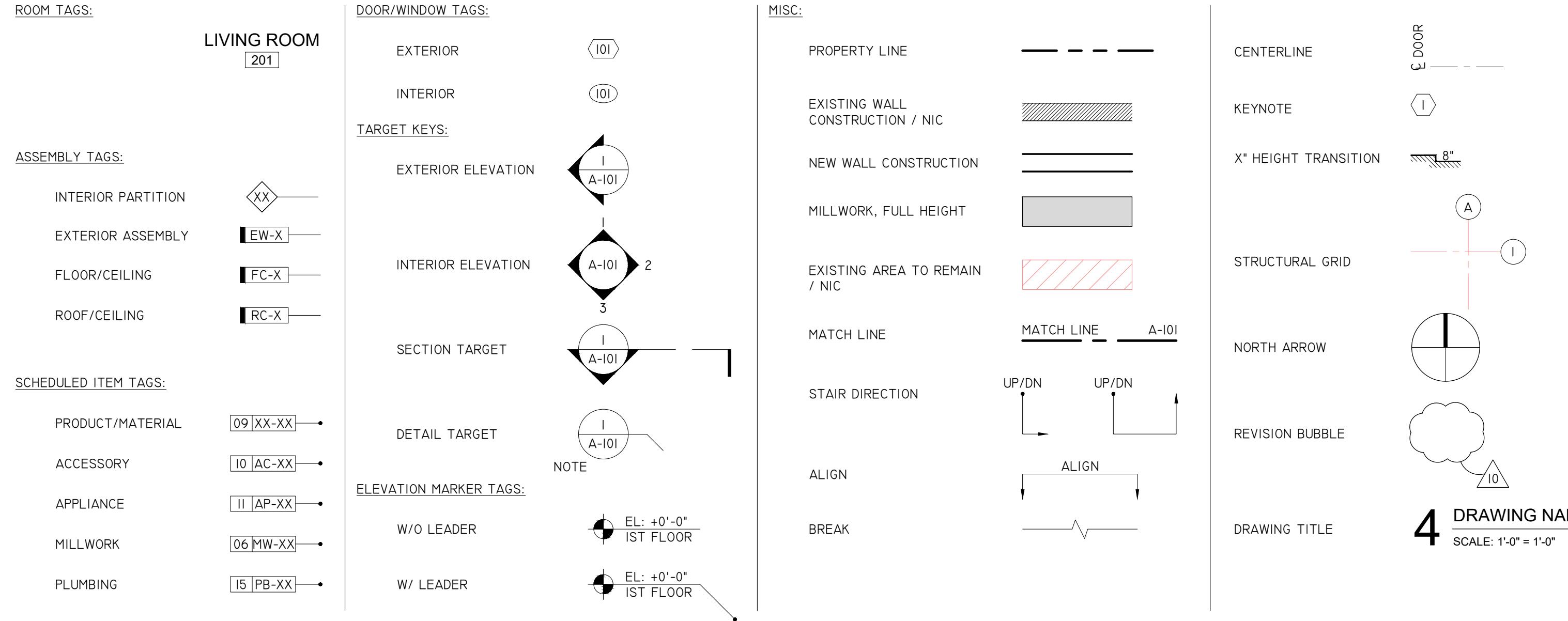
SHEET NAME:  
**DRAWING INDEX**

SCALE: NTS

SHEET NUMBER:

**G-000**

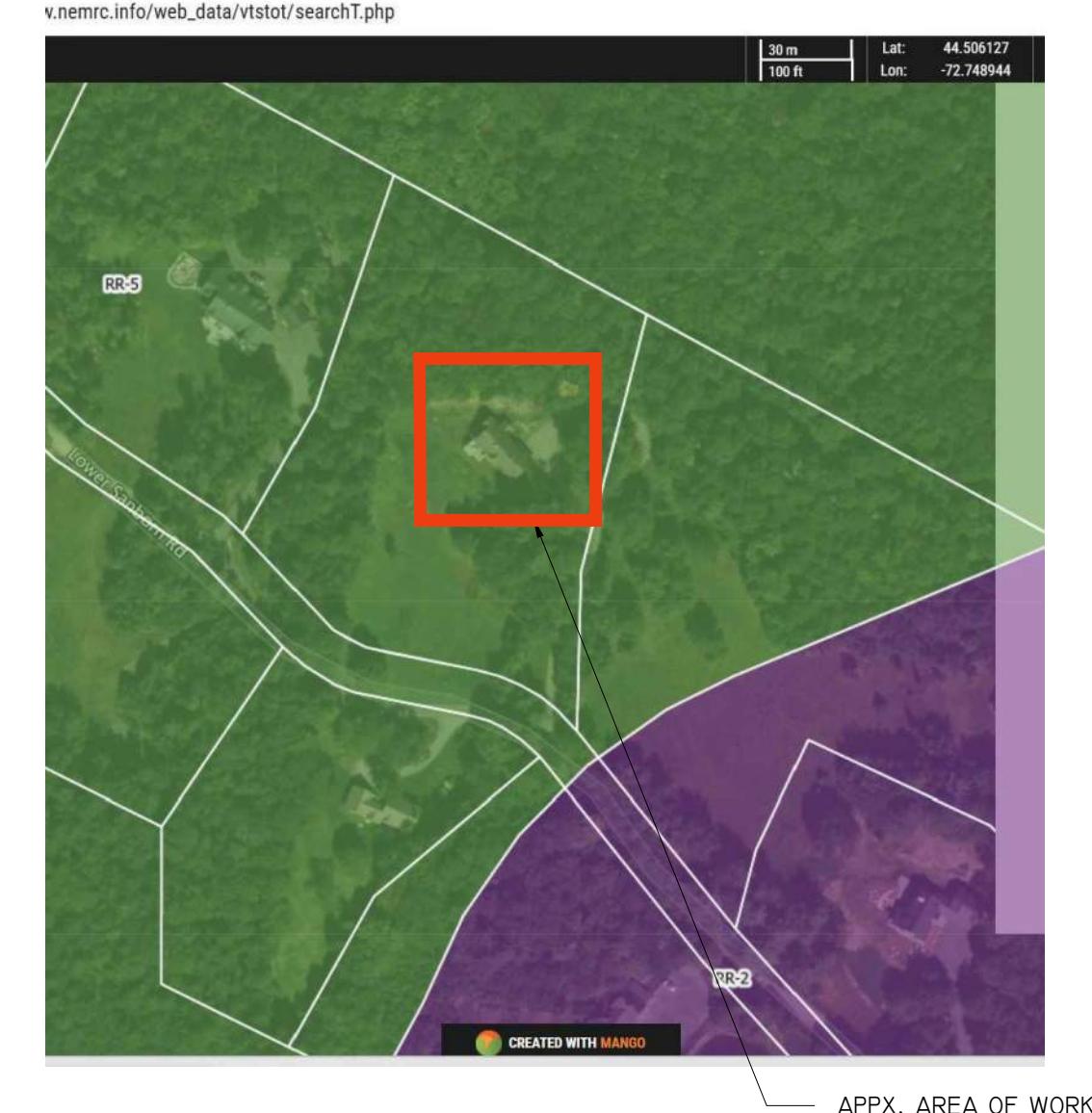
## SYMBOLS LEGEND



## ABBREVIATIONS

@	AT	CT	CUT TILE	GB	GRAB BAR	MW	CABINET (CUSTOM)	SPEC	SPECIFICATION
∠	ANGLE	CNTR / CTR	CENTER	GL	GLASS	MW	MILLWORK	SPKL	SPRINKLER
A/C	AIR CONDITIONING	CTSK	COUNTERSUNK	GND	GRIND, GROUND	NIC	NOT IN CONTRACT	SQ	SQUARE
AB	AIR BARRIER	D	DEEP, DEPTH	GT	GROUT	NO	NUMBER	SR	SEALER
ABV	ABOVE	DET/DTL	DETAIL	GR	GRADE	NOM	NOMINAL	SS	SOLID SURFACE (ENGINEERED STONE)
AC	ACCESSORY(IES)	DIA / Ø	DIAMETER	GWB	GYPSUM WALL BOARD	NTS	NOT TO SCALE	SST, ST STL	STAINLESS STEEL
ACOUST	ACOUSTIC(AL)	DIM	DIMENSION	H / HORIZ	HORIZONTAL	OC	ON CENTER	ST	STONE
ACP	ACCESS PANEL	DN	DOWN	H / HT	HEIGHT	OD	OUTSIDE DIAMETER	STD	STANDARD
AD	AREA DRAIN	DO	DOOR OPENING	HB	HOSE BIB	OFF	OFFICE	STL	STEEL
ADJ	ADJACENT	DR	DOOR	HD	DOOR HARDWARE	OH / OPP HD	OPPOSITE HAND	STOR	STORAGE
ADJ	ADJUSTABLE	DS	DOWNSPOUT	HI	HIGH	OPNG	OPENING	STRUC(L)	STRUCTURE, STRUCTURAL
AFF	ABOVE FINISH FLOOR	DW	DOOR WIDTH	HP	HIGH POINT	OPP	OPPOSITE	SUSP	SUSPENDED
AHU	AIR HANDLING UNIT	DWG	DRAWING	HR	HAND RAIL	OUTBD	OUTBOARD	SYM	SYMMETRICAL
AL / ALUM	ALUMINUM	DX	DRYER EXHAUST	HR	HOUR	PART	PARTIAL	SYS	SYSTEM
AN	ANODIZED	EXST	EXISTING	ID	INSIDE DIAMETER	PB	PLUMBING FIXTURE / FITTING	PERF	PERFORATED
AOR	ARCHITECT OF RECORD	EA	EACH	IN	INSULATION	PNL	PANEL	PL	PLATE
AP	APPLIANCE	EJ	EXPANSION JOINT	INBD	INBOARD	PO	PULL-OUT	T / THK	THICK / THICKNESS
APPROX	APPROXIMATELY	EL	ELECTRIC, ELECTRICAL	INT	INTERIOR	PL / PLAM	PLASTIC LAMINATE	T&G	TONGUE & GROOVE
ARCH / ARCH'L	ARCHITECT (-URAL)	EL / ELEV	ELEVATION	JT	JOINT	PLYWD	PLYWOOD	TL	TILE
AS	ADJUSTABLE SHELF	ENCL	ENCLOSURE	KIT	KITCHEN	PN	PROJECT NORTH	TO	TOP OF
ASPH	ASPHALT	ENG	ENGINEER	L / LGTH	LENGTH	PNL	PANEL	TOC	TOP OF CONCRETE
ASSBLY	ASSEMBLY	EP	ELECTRIC PANEL	L / LT	LIGHT FIXTURE	PO	PULL-OUT	TOS	TOP OF SLAB
B / BOT	BOTTOM	EQ	EQUAL	LAM	LAMINATE	PR	PAIR	TOW	TOP OF WALL
BC	BRICK COURSE	EQ	EQUIPMENT	LAV	LAVATORY	PS	PLASTER	TSTAT	THERMOSTAT
BD	BOARD	ETR	EXISTING TO REMAIN	LBG	LINEAR BAR GRILLE	PT(D)	PAINTED)	TYP	TYPICAL
BITUM	BITUMINOUS	EX	EXHAUST	LH	LEFT HAND	PTN / PARTN	PARTITION	UC	UNDERCUT
BK	BRICK	EXP	EXPANSION	LO	LOW	R	RISER	UNF	UNFINISHED
BLDG	BUILDING	EXPD	EXPOSED	LP	LOW POINT	R / RAD	RADIUS	UON	UNLESS OTHERWISE NOTED
BLK(G)	BLOCK(ING)	EXTR	EXTERIOR	LS	LINEAR SLOT DIFFUSER	RCP	REFLECTED CEILING PLAN	UP	UPHOLSTERY
BM	BEAM	F / FIN	FINISH(ED)	MATL	MATERIAL	RD	ROOF DRAIN	V / VERT	VERTICAL
BO	BOTTOM OF	FA	FIRE ALARM	MAX	MAXIMUM	REF	REFERENCE	VB	VAPOR BARRIER
BO	BY OTHER	FD	FLOOR DRAIN	MC	MANUFACTURED CABINETRY	REINF	REINFORCE(D)	VEST	VESTIBULE
CB	CATCH BASIN	FDN / FOUND	FOUNDATION	ME	MATCH EXISTING	REQD	REQUIRED	VIF	VERIFY IN FIELD
CBB	CEMENT BACKER BOARD	FF / FIN FL	FINISHED FLOOR	MEMB	MEMBRANE	REV	REVISE, REVISION	VNT	VENT
CIP	CAST-IN-PLACE	FG	FLASHING	MECH	MECHANICAL	RF	ROOFING	W / WDTH	WIDTH
CJ	CONTROL JOINT	FIXT	FIXTURE	MEP	MECHANICAL, ELECTRICAL, PLUMBING	RH	RIGHT HAND	W/	WITH
CK	CORK	FL	FLOOR	MFGR / MFR	MANUFACTURER	RL	RELOCATE(D)	W/O	WITHOUT
CLG / CLNG	CEILING	FN	FURNITURE	MG	MECHANICAL GRILLE / REGISTER / DIFFUSER / LINEAR SLOT	RM	ROOM	WB	WOOD BASE
CLO / CLOS	CLOSET	FO	FACE OF	MH	MILLWORK / DECORATIVE	RO	ROUGH OPENING	WC	WATER CLOSET
CLR	CLEAR	FP	FIREPROOFING	MH	HARDWARE	RS	RESILIENT FLOORING	WD	WOOD
CMU	CONCRETE MASONRY UNIT	FR	FIRE RATED	MIN	MINIMUM	RS	ROLLER SHADE	WND	WINDOW
CO	CONCRETE	FRT	FIRE-RETARDANT TREATED	MIR	MOISTURE RESISTANT	RSF	ROLLER SHADE FABRIC	WP	WATERPROOF(ING)
COL	COLUMN	FS	FIXED SHELF	MISC	MISCELLANEOUS	SC	SOLID CORE	WT	WEIGHT
COMB	COMBINATION	FT	FOOT, FEET	MLDG	MOLDING	SCHED	SCHEDULE	WWF	WELDED WIRE FABRIC
COMP	COMPRESSIBLE	FT	FULL TILE	MOS	MASONRY OPENING	SECT	SECTION		
CONN	CONNECTION	FTG	FOOTING	MT	MASONRY	SHT	SHEET		
CONST	CONSTRUCTION	FURR	FURRING	MU	MOISTURE RESISTANT	SIM	SIMILAR		
CONT	CONTINUOUS	FUT	FUTURE	MS	MS	SIP	STRUCTURAL INSULATED PANEL		
COORD	COORDINATE	GA	GYPSUM WALL BOARDS	MTD	METAL	SL	SEALANT		
CORR	CORRIDOR	GA	ACCESSORIES	MTD	MOUNTED	SLP	SLOPE		
CP	CARPET	GAU	GAUGE	MULL	MULLION	SN	STAIN		
CSG	CASING	GALV	GALVANIZED	MH	MILLWORK HARDWARE	SP	START POINT		

## SITE LOCATION



## ZONING ANALYSIS

PROJECT ADDRESS  
342 LOWER SANBORN ROAD  
STOWE, VERMONT 05672

ZONING DISTRICT  
RR-5

SETBACKS  
PRINCIPAL STRUCTURES  
FRONT 70'  
SIDE 75'  
REAR 75'  
NOTE - DOUBLE SETBACK REQUIRED FOR PUD = 150'

MAX BUILDING HEIGHT  
28'

NO ISSUE DATE  
1 TOWN OF STOWE JULY 21, 2025

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION

## RENDERINGS



ENTRY DETAIL ELEVATION - FOR REFERENCE ONLY



REAR ELEVATION - FOR REFERENCE ONLY

ARCHITECT:  
MICHAEL CASEY ARCHITECT, PLLC  
25 Main Street  
Stowe, VT 05672  
T: 404.316.1607

CIVIL ENGINEER:  
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BUILDER:

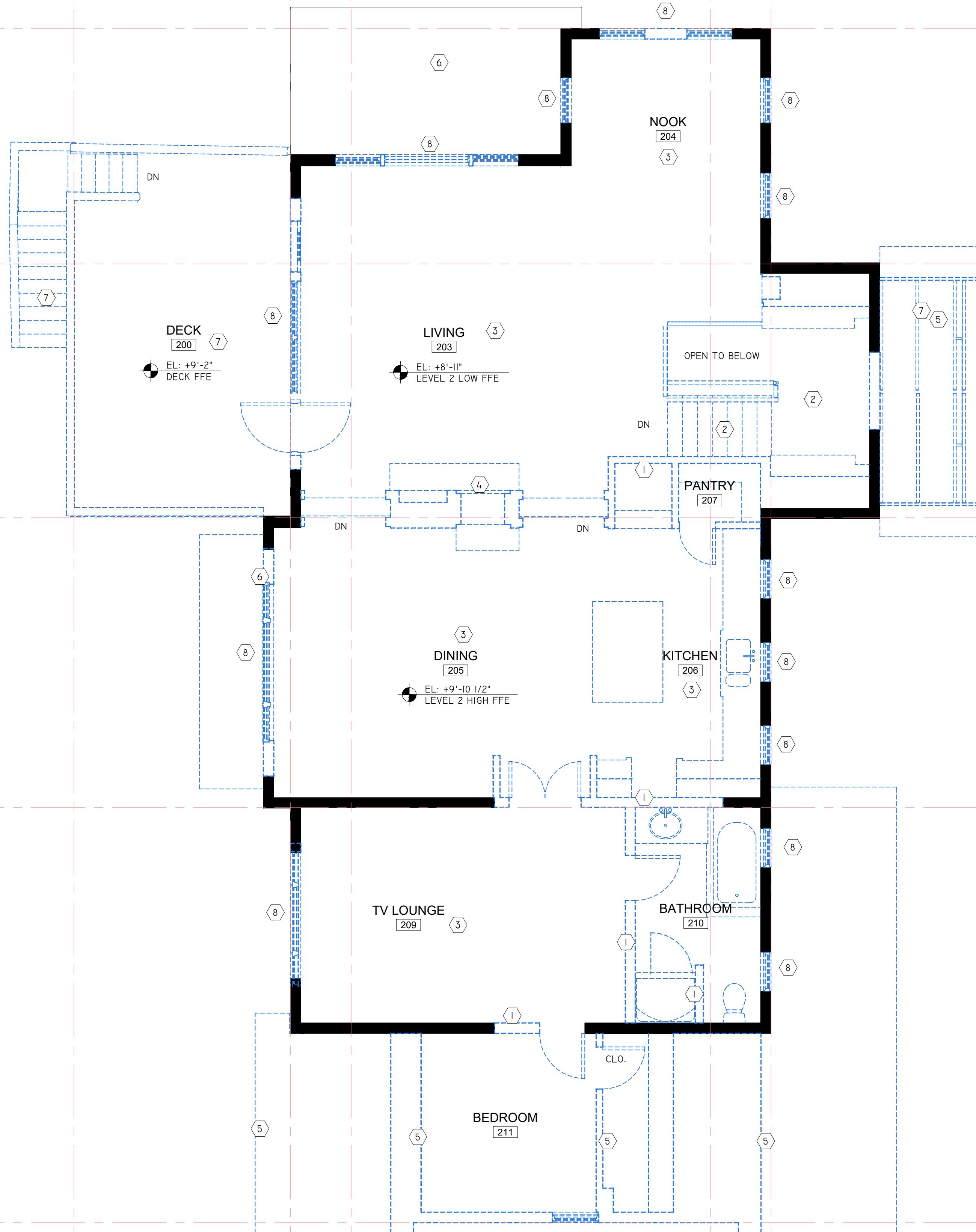
PROJECT:  
ESKOW RESIDENCE  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

SHEET NAME:  
GENERAL NOTES/ ABBREVIATIONS

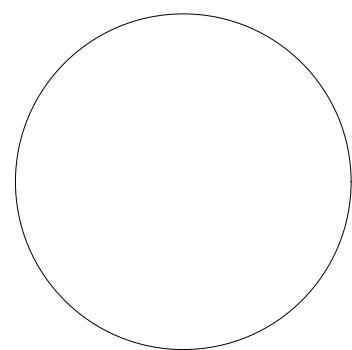
SCALE: NTS

SHEET NUMBER:

G-001

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:  
**MICHAEL CASEY ARCHITECT, PLLC**  
 25 Main Street  
 Stowe, VT 05672  
 T: 404.316.1607

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 38 Summer Street, PO Box 106  
 Lynnfield, MA 01940  
 T: 781.844.6073

BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
 342 Lower Sanborn Road  
 Stowe, VT 05672  
 PROJ #: 2504

SHEET NAME:  
**DEMOLITION PLAN  
LEVEL 2**

SCALE: 1/4" = 1'-0"

1 DEMOLITION PLAN - LEVEL 2  
 SCALE: 1/4" = 1'-0"

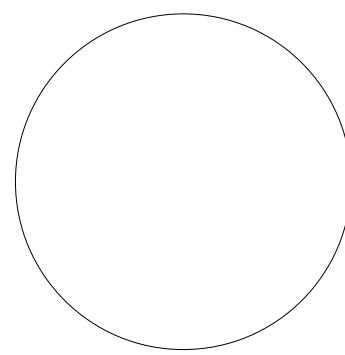
0 5' 10' 20'

SHEET NUMBER:

**AD-102**

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:  
**MICHAEL CASEY ARCHITECT, PLLC**  
 25 Main Street  
 Stowe, VT 05672  
 T: 404.316.1607

CIVIL ENGINEER:  
**MUMLEY ENGINEERING, INC.**  
 46 Hutchins Street  
 Morrisville, VT 05661  
 T: 802.881.6314

STRUCTURAL ENGINEER:  
**WEBB STRUCTURAL SERVICES**  
 670 Main Street  
 Reading, MA 01867  
 T: 781.779.1330

LANDSCAPE DESIGNER:  
**AMBLER DESIGN, LLC**  
 PO Box 1492  
 Stowe, VT 05672  
 T: 802.253.4536

CONSTRUCTION MANAGER:  
**RT HARRIS CUSTOM BUILDERS**  
 38 Summer Street, PO Box 106  
 Lynnfield, MA 01940  
 T: 781.844.6073

BUILDER:

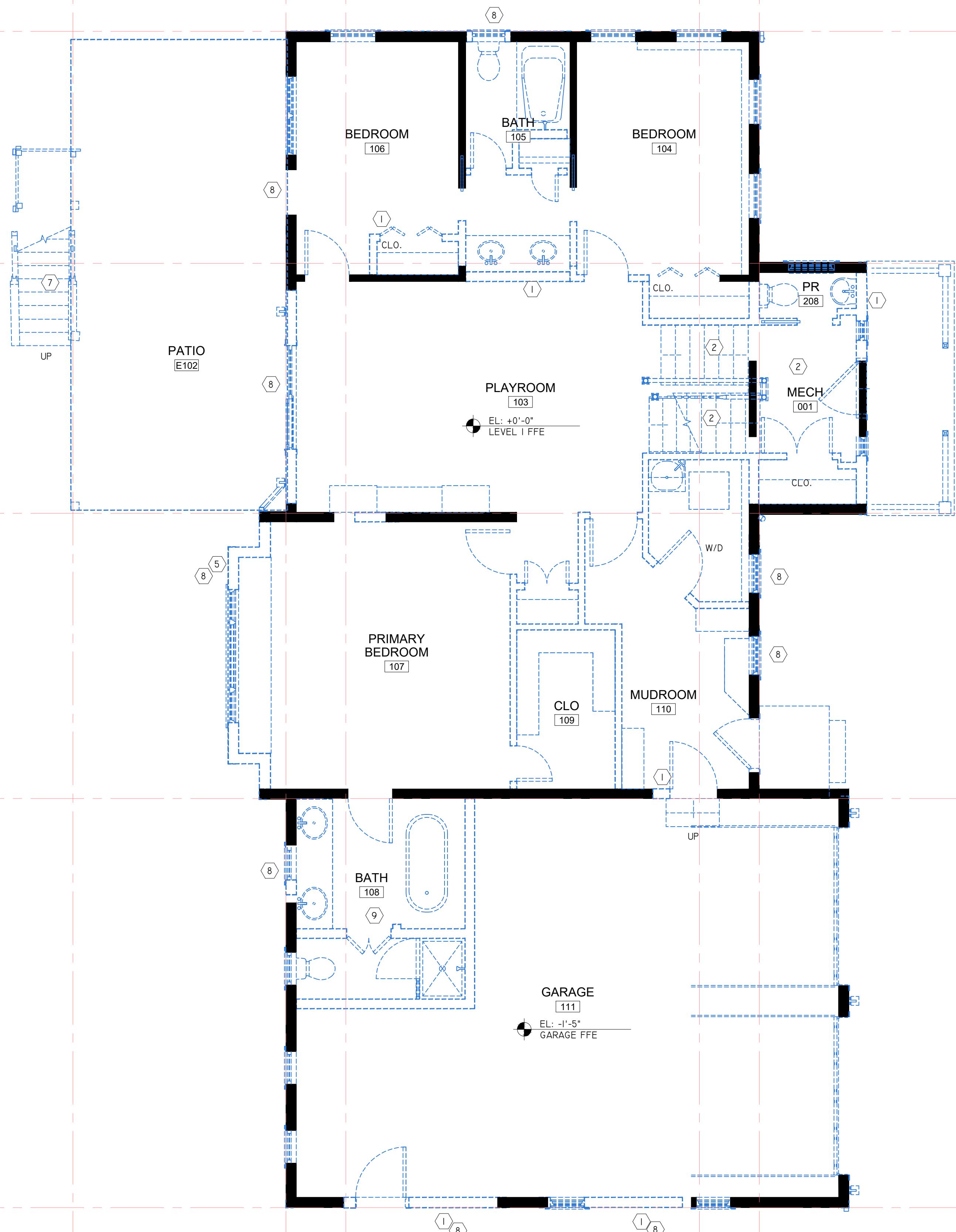
PROJECT:  
**ESKOW RESIDENCE**  
 342 Lower Sanborn Road  
 Stowe, VT 05672  
 PROJ #: 2504

SHEET NAME:  
**DEMOLITION PLAN  
LEVEL 1**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

AD-101



NO	ISSUE	DATE
1	TOWN OF STOWE	JULY 21, 2025

**TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025**

**NOT FOR CONSTRUCTION**

ARCHITECT:  
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STRUCTURAL ENGINEER:  
**WEBB STRUCTURAL SERVICES**  
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T: 781.779.1330

**LANDSCAPE DESIGNER:  
AMBLER DESIGN, LLC  
PO Box 1492  
Stowe, VT 05672  
T: 802.253.4536**

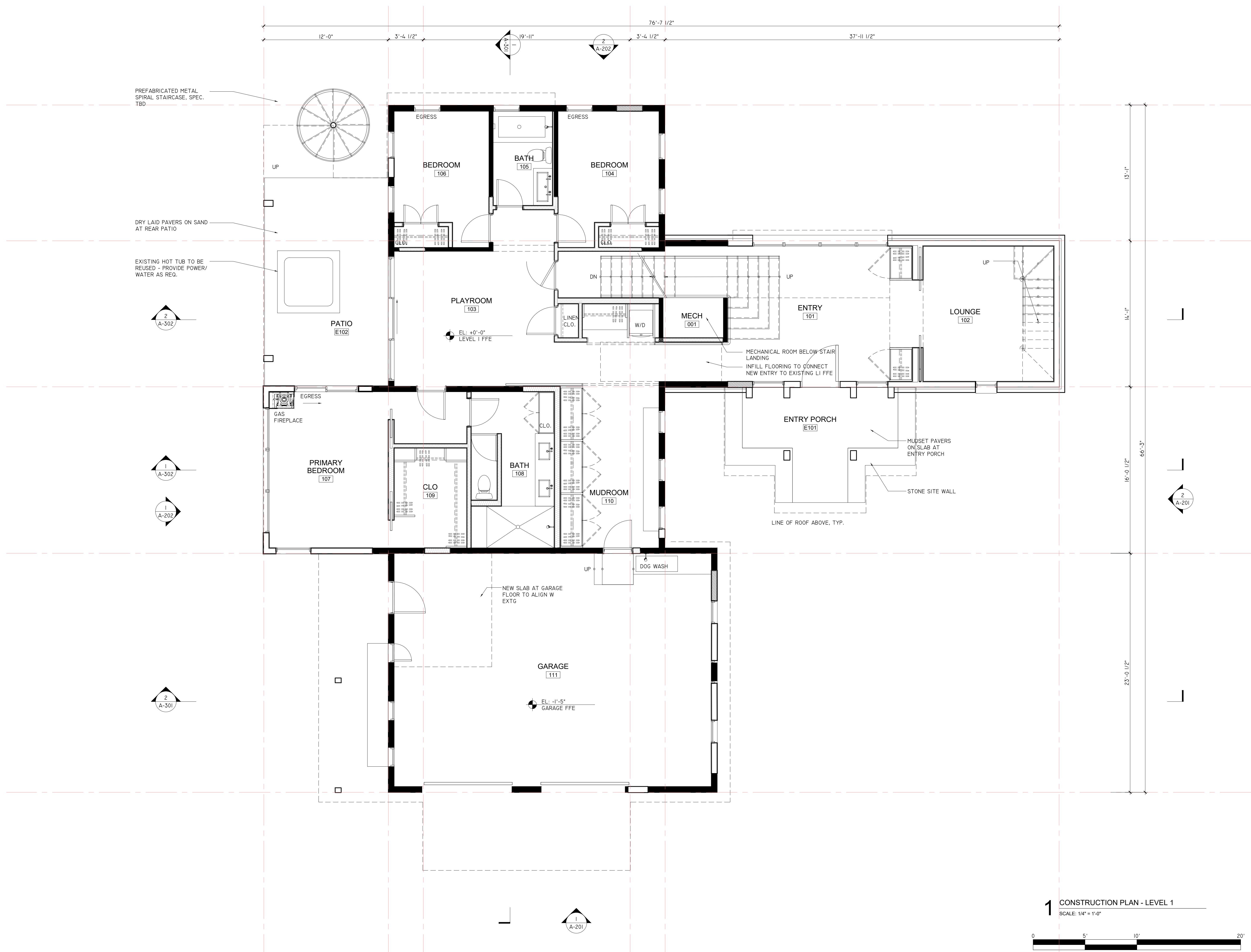
**CONSTRUCTION MANAGER:**  
**RT HARRIS CUSTOM BUILDERS**  
38 Summer Street, PO Box 106  
Lynnfield, MA 01940  
T: 781.844.6073

---

PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
2524

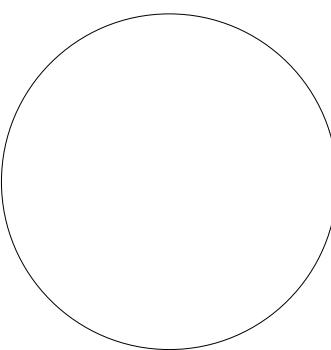
SHEET NAME:  
**CONSTRUCTION PLAN  
LEVEL 1**

SCALE: 1/4" = 1'-0"



TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:  
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**RT HARRIS CUSTOM BUILDERS**  
 38 Summer Street, PO Box 106  
 Lynnfield, MA 01940  
 T: 781.844.6073

BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
 342 Lower Sanborn Road  
 Stowe, VT 05672  
 PROJ #: 2504

SHEET NAME:  
**CONSTRUCTION PLAN  
LEVEL 2**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

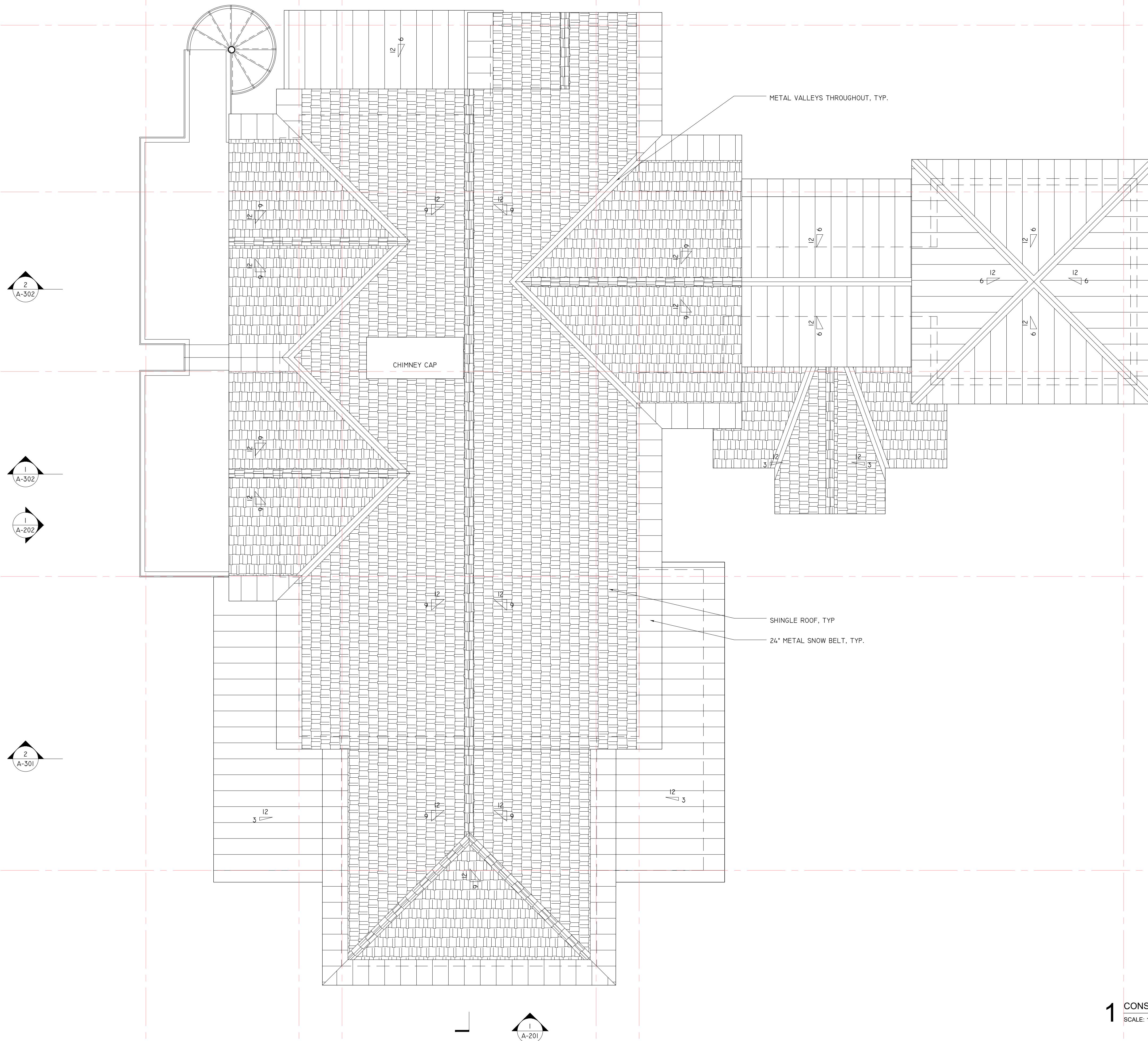
**A-102**

1 CONSTRUCTION PLAN - LEVEL 2  
 SCALE: 1/4" = 1'-0"



TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION

1 CONSTRUCTION PLAN - ROOF  
SCALE: 1/4" = 1'-0"

0 5' 10' 20'

SHEET NUMBER:

A-103

ARCHITECT:  
MICHAEL CASEY ARCHITECT, PLLC  
25 Main Street  
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T: 404.316.1607CIVIL ENGINEER:  
MUMLEY ENGINEERING, INC.  
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T: 802.881.6314STRUCTURAL ENGINEER:  
WEBB STRUCTURAL SERVICES  
670 Main Street  
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T: 781.779.1330LANDSCAPE DESIGNER:  
AMBLER DESIGN, LLC  
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38 Summer Street, PO Box 106  
Lynnfield, MA 01940  
T: 781.844.6073

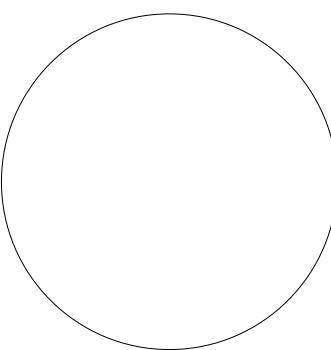
BUILDER:

PROJECT:  
ESKOW RESIDENCE  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504SHEET NAME:  
ROOF PLAN

SCALE: 1/4" = 1'-0"

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:  
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BUILDER:

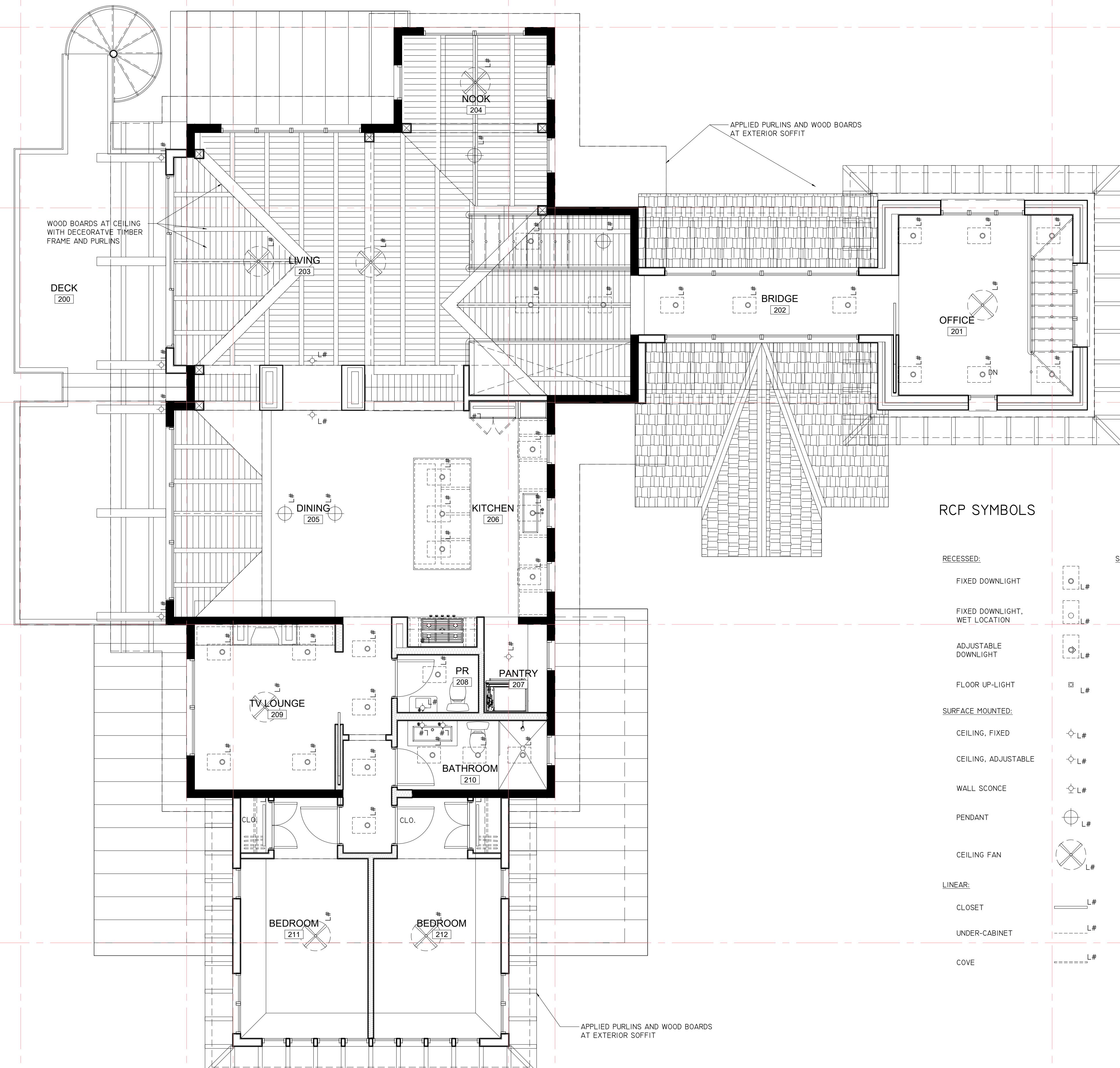
PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

SHEET NAME:  
REFLECTED CEILING PLAN  
LEVEL 2

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-112

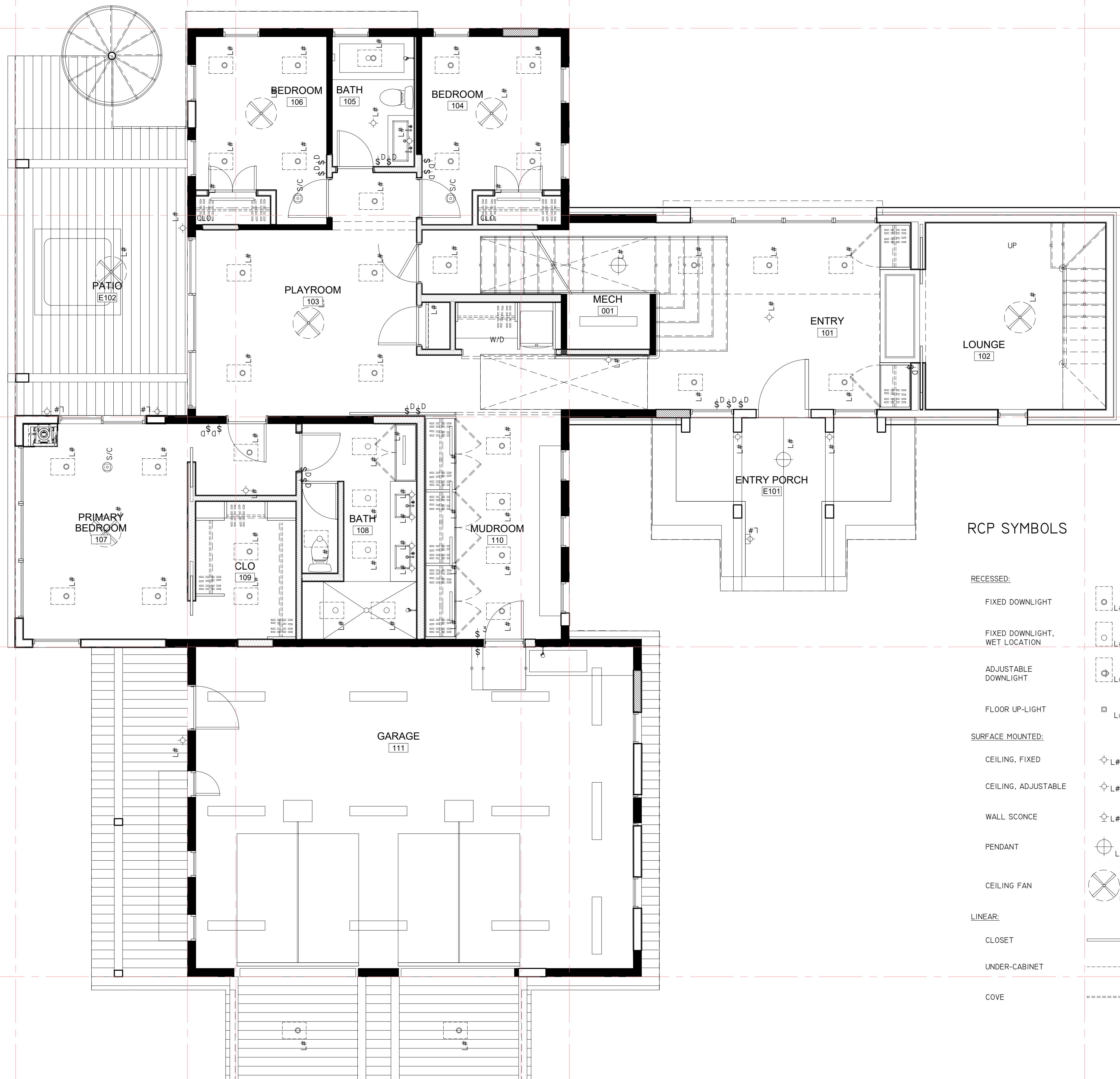


1 REFLECTED CEILING PLAN - LEVEL 2  
SCALE: 1/4" = 1'-0"

0 5' 10' 20'

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



## RCP SYMBOLS

RECESSED:	SWITCHING:
FIXED DOWNLIGHT	STANDARD
FIXED DOWNLIGHT, WET LOCATION	THREE WAY
ADJUSTABLE DOWNLIGHT	DIMMER
FLOOR UP-LIGHT	THREE WAY DIMMER
SURFACE MOUNTED:	EXTERIOR
CEILING, FIXED	JAMB
CEILING, ADJUSTABLE	KEYPAD
WALL SCONCE	SMOKE DETECTOR
PENDANT	SMOKE + CARBON DETERCTOR
CEILING FAN	WALL MOUNTED SMOKE + CARBON DETECTOR
LINEAR:	
CLOSET	
UNDER-CABINET	
COVE	

1 REFLECTED CEILING PLAN - LEVEL 1  
SCALE: 1/4" = 1'-0"

0 5' 10' 20'

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T: 781.844.6073

BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

SHEET NAME:  
REFLECTED CEILING PLAN  
LEVEL 1

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

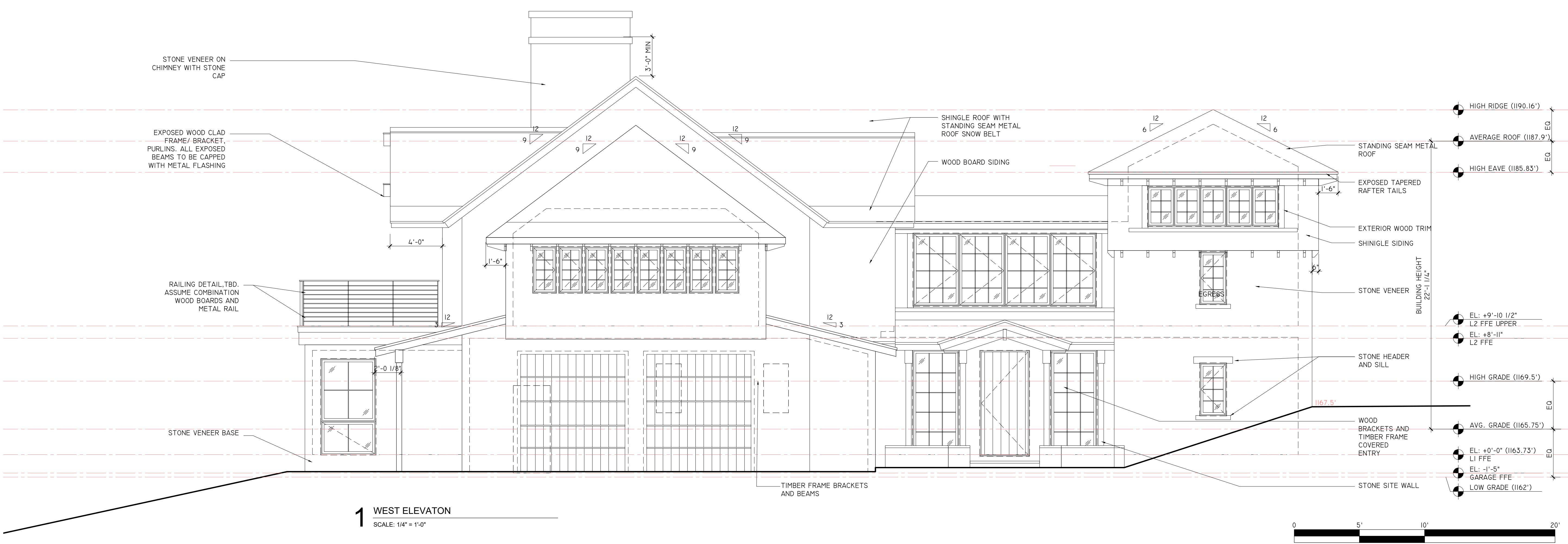
A-111



2 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SEE I/A201 FOR ALL TYPICAL NOTES



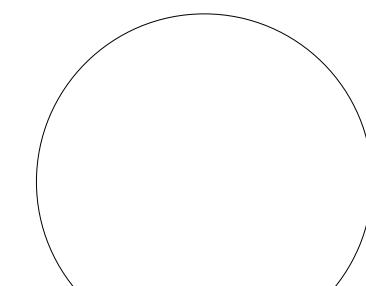
1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

0 5' 10' 20'

TOWN OF STOWE - DRAFT  
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:  
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BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

SHEET NAME:  
**BUILDING ELEVATIONS**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-201



ARCHITECT:  
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Lynnfield, MA 01940  
T: 781.844.6073

BUILDER:

PROJECT:  
**ESKOW RESIDENCE**  
342 Lower Sanborn Road  
Stowe, VT 05672  
PROJ #: 2504

SHEET NAME:  
**BUILDING ELEVATIONS**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

**A-202**



0 5' 10' 20'