

Development Application
Town of Stowe Planning & Zoning Department
PO Box 730
Stowe, VT 05672
Telephone: (802) 253-6141

Project #
(To be assigned)

Date Received:

This form serves as an application for all requested zoning and subdivision reviews.

Property Owner Information

Property Owner	JON AND DANI ESKOW
Mailing Street Address City, State and Zip	342 LOWER SANBORN RD, STOWE, VT 05672
Telephone Number	Email

Applicant Information (Relationship to Owner)

☒ Owner (If so, skip to property information) ☐ Lessee ☐ Contractor
☐ Architect/Designer ☐ Agent for Owner ☐ Under purchase contract

All information and correspondence is sent to applicant/contact.

Applicant Name Company (if any)	
Mailing Street Address City, State and Zip	
Phone Number	Email

Property Information & Location

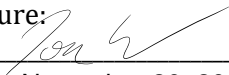
Physical Address	342 LOWER SANBORN RD, STOWE, VT 05672
Tax Map ID	11-83.070
Existing Use SINGLE-FAMILY RESIDENCE	Proposed Use SINGLE-FAMILY RESIDENCE

Please briefly describe the proposed project, intended use, and/or development request below:

PROPOSED 25' REDUCTION OF EXISTING 150' DOUBLE PERIMETER SETBACK ON LOT 7 OF ORIGINAL DISHMILL SUBDIVISION (642 LOWER SANBORN ROAD).

For All Approvals:

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if: <input checked="" type="checkbox"/> Property Owner OR <input type="checkbox"/> Agent for Owner	Signature:  Date: November 20, 2025
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Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved.

The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all projects:

Will there be a new curb cut (driveway opening)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will over ½ acre of land be graded or disturbed?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will the development create an additional ½ acre of impervious surface?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Maximum Bldg. Height: 22' 4"* Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

Existing Rooms:	# Bathrooms: 3.5	# Bedrooms: 4	# Kitchens: 1
New Rooms:	# Bathrooms: 3.5	# Bedrooms: 5	# Kitchens: 1

Please complete the fee calculation below for all applications:

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
Fee:		\$
Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.25	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
Fee:		\$
Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	\$250
Conditional Use Review	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
Fee:		\$
Signs	\$70.00	
Fee:		\$
Recording Fees /Stowe Land Records (set by state law)		



Civil Engineers • Land Use Planners

November 11, 2025

Sarah McShane, Zoning Director and Administrator
Town of Stowe, Akeley Memorial Building
67 Main Street, Stowe, VT 05672

Subject: Jonathan & Danielle Eskow
Double Setback Reduction Waiver Request
342 Lower Sanborn Road, Stowe, Vermont

Project #25058

Dear Sarah,

Please find attached an application for Waiver Request for a reduction in the double perimeter setback on the existing parcel at 342 Lower Sanborn Road, which was known as Lot 7 of the original Dishmill Farm Subdivision in 1993. The current landowners, Jonathon & Danielle Eskow, would like to construct an addition to their existing house and this includes an extension of the building to the north into the existing double perimeter setback. We are requesting a twenty-five-foot (25') reduction to the existing 150' double setback.

Section 13.4(5)B of the rules allows for the reduction of the double setbacks for PRDs if the Development Review Board (DRB) is in agreement with the following aspects of waiver allowance:

1. *The double setback is not found necessary to protect the privacy of neighboring properties due to topography, existing vegetation to remain, proposed landscaping or other mitigation measures being proposed by the applicant.*
 - a. The requested 25-foot reduction in the double setback is minimal (17% of 150').
 - b. The property would maintain 125' of existing thick wooded buffer to the abutting uphill property to the north.
 - i. This property, owned by 162351 CANADA INC, is a vacant and heavily wooded \pm 40-acre parcel with apparent access off Robinson Springs Road.
 - c. Conclusion: the 25-foot reduction is NOT necessary to protect the privacy of neighboring properties due to topography and existing vegetation to remain.
2. *The double setback is not found necessary to protect the scenic or natural beauty of the area, aesthetics, historic sites or rare and irreplaceable natural areas; and*
 - a. The reduction in the double perimeter setback is requested in order to allow for an addition to the building and will result in only a minimal amount of clearing.
 - b. The setback reduction, and associated building addition, is minimal in comparison to the overall wooded setback area and will not have any significant impacts on the scenic or natural beauty of the area, aesthetics, historic sites, or rare and irreplaceable natural areas.
3. *The double setback is not found necessary to protect the character of the area affected as defined by the purpose of the zoning district.*
 - a. The requested reduction of the setback is on the rear side of the existing house, looking from the public vantage point (Lower Sanborn Road) and will not affect the character of the area.

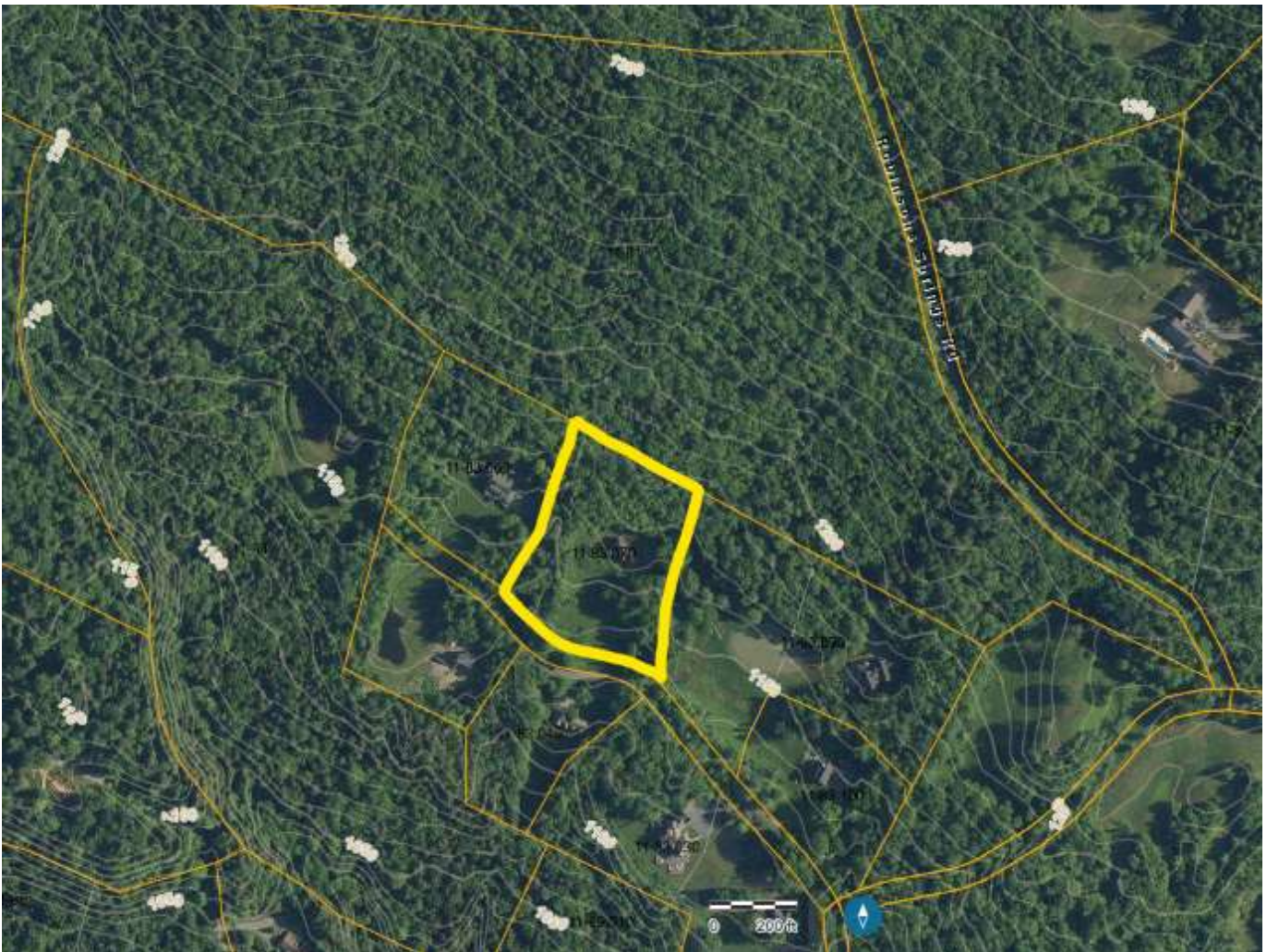
- b. The 25' setback reduction will not have an impact on the purposes of the RR5 Zoning District, which are to:
- To maintain the natural and scenic qualities which create and preserve the best possible environment for residential development.
 - To promote the preservation of adequate open space through carefully planned cluster types of development.
 - To maintain the rural character and beauty of the existing neighborhoods.
 - To discourage intensive development in areas where slopes or soil conditions dictate otherwise.
 - To limit land uses to moderate to low-density residential development, farming and forestry, outdoor recreation and home occupations.

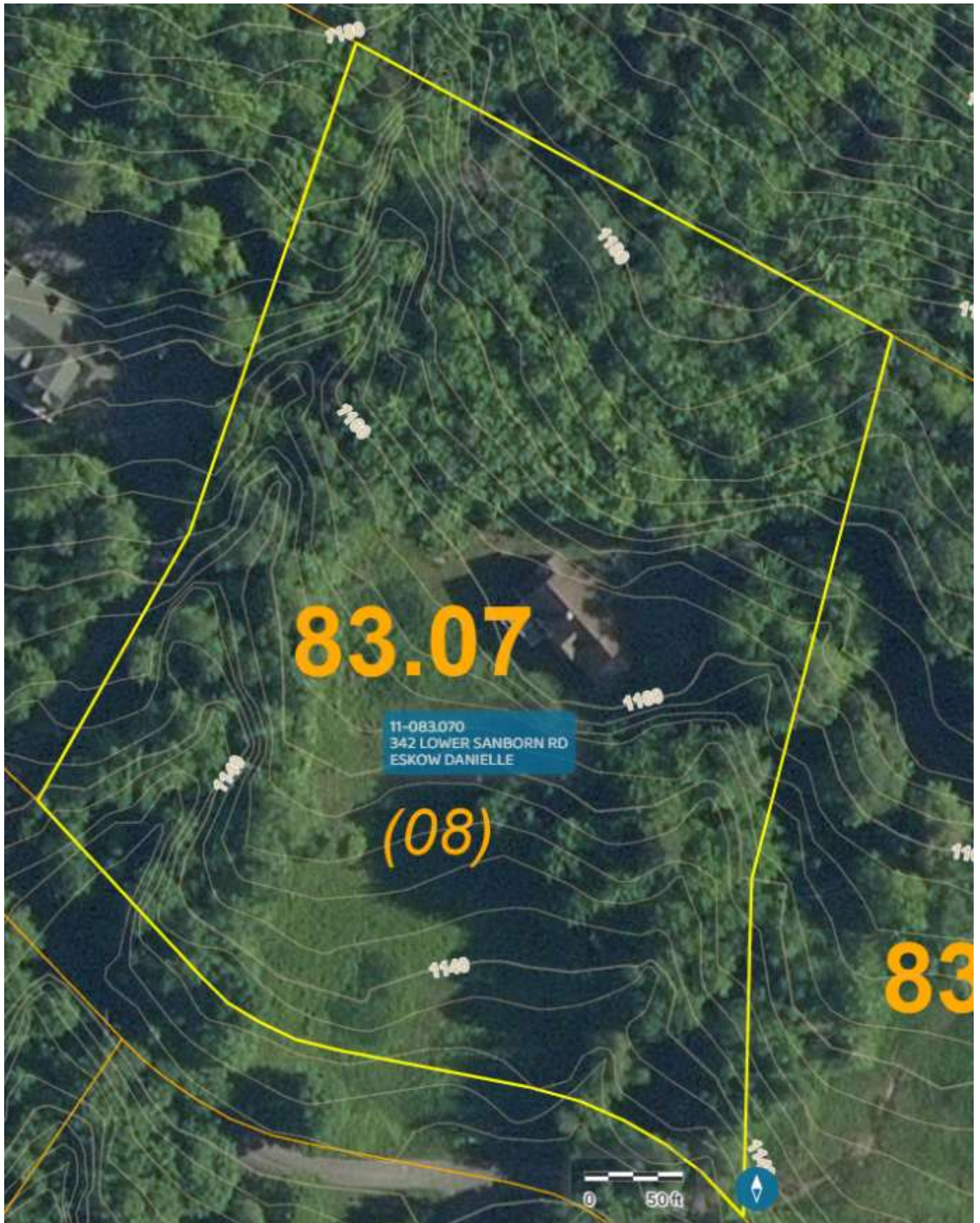
Please let us know if you have any questions or comments. Thank you for your time!

Sincerely,
Tyler Mumley, P.E.

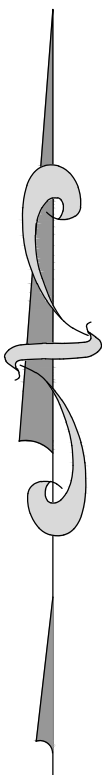


Mumley Engineering, Inc.





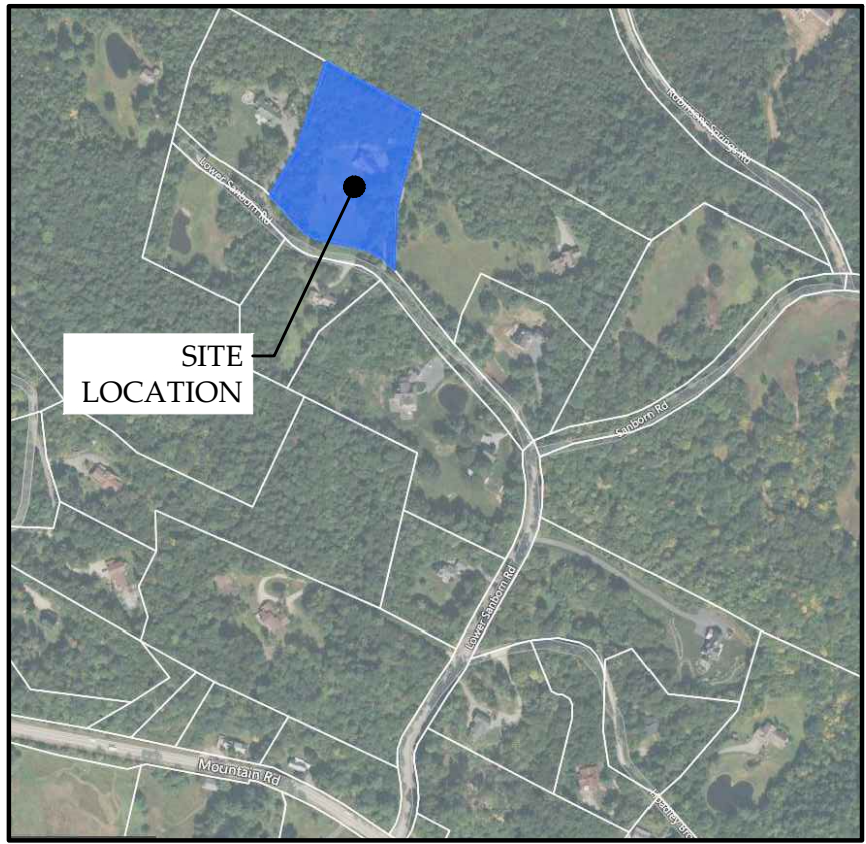
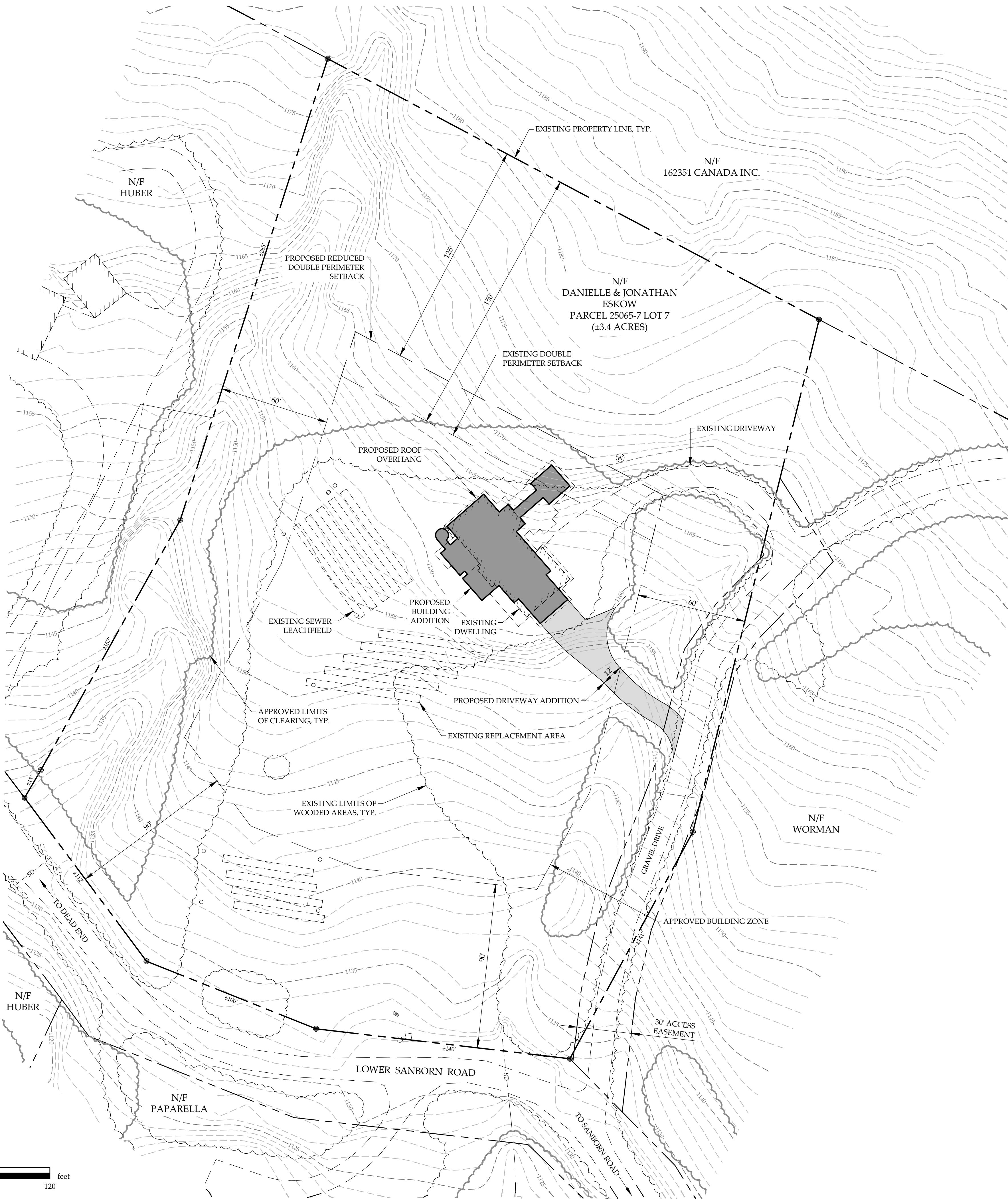
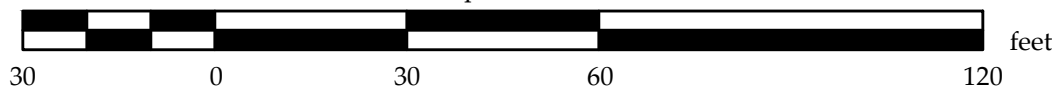
LEGEND	
N/F	NOW OR FORMERLY OWNED BY
●	IRON PIPE / REBAR FOUND
○	EXISTING DRILLED WELL
⊙	EXISTING ELECTRIC PANEL
⊕	EXISTING UTILITY PEDISTAL
---	EXISTING PROPERTY LINE
- - -	ABUTTER PROPERTY LINE
- - -	EXISTING RIGHT-OF-WAY - ACCESS
- - -	EXISTING EASEMENT - WATER/WASTEWATER
- - -	EXISTING TREE LINE
- - -	ORIGINAL CLEARING LIMITS
-W-	EXISTING WATER LINE
-SS-	EXISTING GRAVITY SEWER LINE
-PS-	EXISTING PRESSURE SEWER LINE
-SD-	EXISTING STORMWATER DRAIN
-500-	EXISTING CONTOUR
- - -	BUILDING SETBACK LINE
- - -	EXISTING STREAM
- - -	EXISTING SWALE



SITE PLAN

SCALE: 1" = 30'

Graphic Scale



SITE LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAN:

PROPOSED REDUCTION TO DOUBLE PERIMETER SETBACK

ZONING NOTES:

DISTRICT: RR5
MINIMUM LOT SIZE: 5 ACRES
MINIMUM LOT WIDTH: 300 FT
SETBACKS:
FRONT = 70 FT
REAR = 75 FT
SIDE = 75 FT

OWNER OF RECORD:

DANIELLE & JONATHAN ESKOW

PLAN REFERENCES:

- 1) TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 06-04-25.
- 2) INFORMATION TAKEN FROM PLAN ENTITLED "DISHMILL FARM, SHEET 3 OF 3", LAST REVISED 03/04/93, APPROVED BY STOWE PLANNING COMMISSION ON 04/05/93, RECORDED AS BOOK 10, PAGE 76 ON 06/07/95, PREPARED BY GLENN TOWNE.
- 3) INFORMATION, INCLUDING APPROVED CLEARING LIMITS, TAKEN FROM PLAN ENTITLED "DISHMILL FARM - SITE PLAN, LOWER SANBORN ROAD - STOWE", LAST REVISED 04/20/95, RECORDED AS BOOK 10, PAGE 77 ON 06/07/95, PREPARED BY CHARLES GRENIER CONSULTING ENGINEER, P.C.
- 4) PARCEL, EASEMENTS AND SITE INFORMATION TAKEN FROM PERMIT #WW-5-5240, DATED 1-8-10, SHOWN ON PLAN ENTITLED "DISHMILL FARMS SUBDIVISION, BRYAN & SANDRA HUBER LOTS 5 & 6, LOWER SANBORN ROAD, STOWE", DATED 8-07-09, PREPARED BY CHARLES GRENIER CONSULTING ENGINEER, P.C.
- 5) PARCEL, EASEMENTS AND SITE INFORMATION PROVIDED ELECTRONICALLY AND TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN, LANDS OF DANIELLE & JONATHAN ESKOW", DATED 6/24/25, JOB # STOW0033, PREPARED BY BUTTON PROFESSIONAL LAND SURVEYORS, PC.

NOTES:

- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #5. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

SITE PLAN
DANIELLE & JONATHAN ESKOW
342 LOWER SANBORN ROAD
STOWE, VERMONT



MUMLEY
ENGINEERING, INC.

46 HUTCHINS STREET
MORRISVILLE, VT 05644
WWW.MUMLEYENGINEERING.COM
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PROJECT NO.....25058
DRAWN BY.....WEH/RCB
CHECKED BY.....TRM
SCALE.....1" = 30'
DATE.....10/30/25

SHEET NO.

C-1

1 OF 1 SHEETS

ESKOW RESIDENCE



TOWN OF STOWE - DRAFT
OCTOBER 17, 2025

NOT FOR CONSTRUCTION

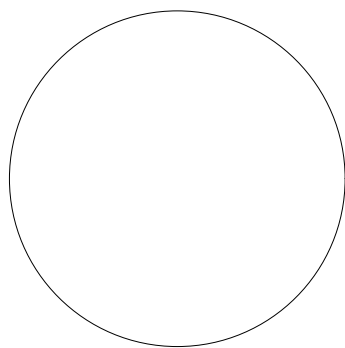
NO	ISSUE	DATE
1	TOWN OF STOWE	JULY 21, 2025

DRAWING INDEX

				TOWN OF STOWE PERMIT JULY 21, 2025
SHEET	SHEET NAME	SCALE		
G-000	DRAWING INDEX	NA		X
G-001	GENERAL NOTES/ ABBREVIATIONS	NA		X
SITE SURVEY				
001	EXISTING CONDITIONS SITE PLAN	1:40		
CIVIL ENGINEERING				
C-1	SITE PLAN	1:30		X
ARCHITECTURAL DEMOLITION				
AD-101	ARCHITECTURAL DEMO PLAN - LEVEL 1	1/4" = 1'-0"		X
AD-102	ARCHITECTURAL DEMO PLAN - LEVEL 2	1/4" = 1'-0"		X
ARCHITECTURE				
A-101	CONSTRUCTION PLAN - LEVEL 1	1/4" = 1'-0"		X
A-102	CONSTRUCTION PLAN - LEVEL 2	1/4" = 1'-0"		X
A-103	ROOF PLAN	1/4" = 1'-0"		
A-111	RCP - LEVEL 1	1/4" = 1'-0"		X
A-112	RCP - LEVEL 2	1/4" = 1'-0"		X
A-201	BUILDING ELEVATIONS	1/4" = 1'-0"		X
A-202	BUILDING ELEVATIONS	1/4" = 1'-0"		X

TOWN OF STOWE - DRAFT
OCTOBER 17, 2025

NOT FOR CONSTRUCTION



ARCHITECT:
MICHAEL CASEY ARCHITECT, PLLC
25 Main Street
Stowe, VT 05672
T: 404.316.1607

CIVIL ENGINEER:
MUMLEY ENGINEERING, INC.
46 Hutchins Street
Morrisville, VT 05661
T: 802.881.6314

STRUCTURAL ENGINEER:
WEBB STRUCTURAL SERVICES
670 Main Street
Reading, MA 01867
T: 781.779.1330

LANDSCAPE DESIGNER:
AMBLER DESIGN, LLC
PO Box 1492
Stowe, VT 05672
T: 802.253.4536

CONSTRUCTION MANAGER:
RT HARRIS CUSTOM BUILDERS
38 Summer Street, PO Box 106
Lynnfield, MA 01940
T: 781.844.6073

BUILDER:

PROJECT:
ESKOW RESIDENCE
342 Lower Sanborn Road
Stowe, VT 05672
PROJ #: 2504

SHEET NAME:
DRAWING INDEX

SCALE: NTS

SHEET NUMBER:

G-000

SYMBOLS LEGEND

ROOM TAGS:

LIVING ROOM
[201]

ASSEMBLY TAGS:

INTERIOR PARTITION
[XX]

EXTERIOR ASSEMBLY
[EW-X]

FLOOR/CEILING
[FC-X]

ROOF/CEILING
[RC-X]

SCHEDULED ITEM TAGS:

PRODUCT/MATERIAL
[09 XX-XX]

ACCESSORY
[10 AC-XX]

APPLIANCE
[11 AP-XX]

MILLWORK
[06 MW-XX]

PLUMBING
[15 PB-XX]

DOOR/WINDOW TAGS:

EXTERIOR
[101]

INTERIOR
[101]

TARGET KEYS:

EXTERIOR ELEVATION
[1 A-101]

INTERIOR ELEVATION
[A-101] 2

SECTION TARGET
[1 A-101] 3

DETAIL TARGET
[1 A-101]

ELEVATION MARKER TAGS:

W/O LEADER
EL: +0'-0" 1ST FLOOR

W/ LEADER
EL: +0'-0" 1ST FLOOR

MISC:

PROPERTY LINE

EXISTING WALL CONSTRUCTION / NIC
[Hatched]

NEW WALL CONSTRUCTION
[Double Line]

MILLWORK, FULL HEIGHT
[Solid Grey]

EXISTING AREA TO REMAIN / NIC
[Red Hatched]

MATCH LINE
MATCH LINE A-101

STAIR DIRECTION
UP/DN

ALIGN
ALIGN

BREAK
[Zigzag]

CENTERLINE

KEYNOTE
[1]

X" HEIGHT TRANSITION
[Step] 8"

STRUCTURAL GRID
[Crosshair] 1

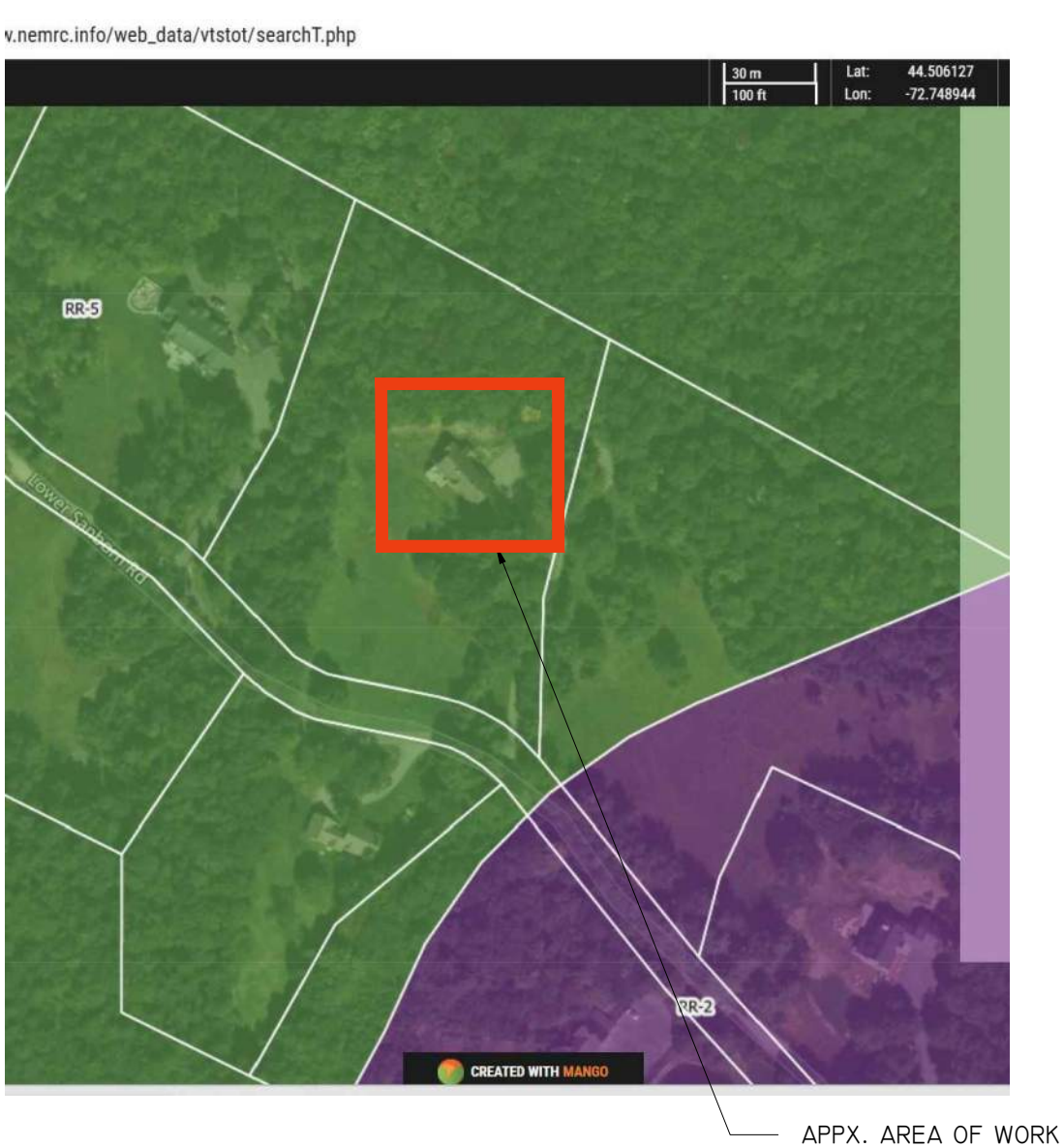
NORTH ARROW
[Compass]

REVISION BUBBLE
[Cloud]

DRAWING TITLE
4

DRAWING NAME
SCALE: 1'-0" = 1'-0"

SITE LOCATION



ZONING ANALYSIS

PROJECT ADDRESS
342 LOWER SANBORN ROAD
STOWE, VERMONT 05672

ZONING DISTRICT
RR-5

SETBACKS
PRINCIPAL STRUCTURES
FRONT 70'
SIDE 75'
REAR 75'
NOTE - DOUBLE SETBACK REQUIRED FOR PUD = 150'

MAX BUILDING HEIGHT
28'

GENERAL NOTES

REFER TO PROJECT MANUAL FOR ALL GENERAL NOTES, REQUIREMENTS, SPECIFICATIONS, AND SCHEDULES NOT INCLUDED IN THIS DRAWING SET.

DRAWINGS ARE NOT TO BE DISTRIBUTED OUTSIDE OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS WITHOUT THE DIRECT WRITTEN APPROVAL OF THE CLIENT AND ARCHITECT

TOWN OF STOWE - DRAFT
OCTOBER 17, 2025

NOT FOR CONSTRUCTION

ABBREVIATIONS

@	AT	CT	CUT TILE	GB	GRAB BAR	MW	CABINET (CUSTOM)	SPEC	SPECIFICATION
L	ANGLE	CNTR / CTR	CENTER	GL	GLASS	MW	MILLWORK	SPKL	SPRINKLER
A/C	AIR CONDITIONING	CTSK	COUNTERSUNK	GND	GRIND, GROUND	NIC	NOT IN CONTRACT	SQ	SQUARE
AB	AIR BARRIER	D	DEEP, DEPTH	GT	GROUT	NO	NUMBER	SR	SEALER
ABV	ABOVE	DET/DTL	DETAIL	GR	GRADE	NOM	NOMINAL	SS	SOLID SURFACE (ENGINEERED STONE)
AC	ACCESSORY(IES)	DIA / Ø	DIAMETER	GWB	GYPSPUM WALL BOARD	NTS	NOT TO SCALE	SST, ST STL	STAINLESS STEEL
ACOUST	ACOUSTIC(AL)	DIM	DIMENSION	H / HORIZ	HORIZONTAL	OC	ON CENTER	ST	STONE
ACP	ACCESS PANEL	DN	DOWN	H / HT	HEIGHT	OD	OUTSIDE DIAMETER	STD	STANDARD
AD	AREA DRAIN	DO	DOOR OPENING	HB	HOSE BIB	OFF	OFFICE	STL	STEEL
ADJ	ADJACENT	DR	DOOR	HD	DOOR HARDWARE	OH / OPP HD	OPOSITE HAND	STOR	STORAGE
ADJ	ADJUSTABLE	DS	DOWNSPOUT	HI	HIGH	OPNG	OPENING	STRUC(L)	STRUCTURE, STRUCTURAL
AFF	ABOVE FINISH FLOOR	DW	DOOR WIDTH	HP	HIGH POINT	OPP	OPPOSITE	SUSP	SUSPENDED
AHU	AIR HANDLING UNIT	DWG	DRAWING	HR	HAND RAIL	OUTBD	OUTBOARD	SYM	SYMMETRICAL
AL / ALUM	ALUMINUM	DX	DRYER EXHAUST	HR	HOUR	PART	PARTIAL	SYS	SYSTEM
AN	ANODIZED	EXST	EXISTING	ID	INSIDE DIAMETER	PB	PLUMBING FIXTURE / FITTING	T	TREAD
AOR	ARCHITECT OF RECORD	EA	EACH	IN	INSULATION	PERF	PERFORATED	T / THK	THICK / THICKNESS
AP	APPLIANCE	EJ	EXPANSION JOINT	INBD	INBOARD	PL	PLATE	T&G	TONGUE & GROOVE
APPROX	APPROXIMATELY	EL	ELECTRIC, ELECTRICAL	INT	INTERIOR	PL / PLAM	PLASTIC LAMINATE	TL	TILE
ARCH / ARCH'L	ARCHITECT (-URAL)	EL / ELEV	ELEVATION	JT	JOINT	PLYWD	PLYWOOD	TO	TOP OF
AS	ADJUSTABLE SHELF	ENCL	ENCLOSURE	KIT	KITCHEN	PN	PROJECT NORTH	TOC	TOP OF CONCRETE
ASPH	ASPHALT	ENG	ENGINEER	L / LGTH	LENGTH	PNL	PANEL	TOS	TOP OF SLAB
ASSBLY	ASSEMBLY	EP	ELECTRIC PANEL	L / LT	LIGHT FIXTURE	PO	PULL-OUT	TOW	TOP OF WALL
B / BOT	BOTTOM	EQ	EQUAL	LAM	LAMINATE	PR	PAIR	TSTAT	THERMOSTAT
BC	BRICK COURSE	EQ	EQUIPMENT	LAV	LAVATORY	PS	PLASTER	TYP	TYPICAL
BD	BOARD	ETR	EXISTING TO REMAIN	LBG	LINEAR BAR GRILLE	PT(D)	PAINT(ED)	UC	UNDERCUT
BITUM	BITUMINOUS	EX	EXHAUST	LH	LEFT HAND	PTN / PARTN	PARTITION	UNF	UNFINISHED
BK	BRICK	EXP	EXPANSION	LO	LOW	R	RISER	UON	UNLESS OTHERWISE NOTED
BLDG	BUILDING	EXPD	EXPOSED	LP	LOW POINT	R / RAD	RADIUS	UP	UPHOLSTERY
BLK(G)	BLOCK(ING)	EXTR	EXTERIOR	LS	LINEAR SLOT DIFFUSER	RCP	REFLECTED CEILING PLAN	V	VERTICAL
BM	BEAM	F / FIN	FINISH(ED)	MATL	MATERIAL	RD	ROOF DRAIN	VB	VAPOR BARRIER
BO	BOTTOM OF	FA	FIRE ALARM	MAX	MAXIMUM	REF	REFERENCE	VEST	VESTIBULE
BO	BY OTHER	FD	FLOOR DRAIN	MC	MANUFACTURED CABINETRY	REINF	REINFORCE(D)	VIF	VERIFY IN FIELD
CB	CATCH BASIN	FDN / FOUND	FOUNDATION	ME	MATCH EXISTING	REQD	REQUIRED	VNT	VENT
CBB	CEMENT BACKER BOARD	FF / FIN FL	FINISHED FLOOR	MEMB	MEMBRANE	REV	REVISE, REVISION	W / WDT	WIDTH
CIP	CAST-IN-PLACE	FG	FLASHING	MECH	MECHANICAL	RF	ROOFING	W/	WITH
CJ	CONTROL JOINT	FIXT	FIXTURE	MEP	MECHANICAL, ELECTRICAL, PLUMBING	RH	RIGHT HAND	W/O	WITHOUT
CK	CORK	FL	FLOOR	MFR	MANUFACTURER	RL	RELOCATE(D)	WB	WOOD BASE
CLG / CLNG	CEILING	FN	FURNITURE	MG	MECHANICAL GRILLE / REGISTER / DIFFUSER / LINEAR SLOT	RM	ROOM	WC	WATER CLOSET
CLO / CLOS	CLOSET	FQ	FACE OF	MH	MILLWORK / DECORATIVE HARDWARE	RO	ROUGH OPENING	WD	WOOD
CLR	CLEAR	FP	FIREPROOFING	MIN	MINIMUM	RS	RESILIENT FLOORING	WND	WINDOW
CMU	CONCRETE MASONRY UNIT	FR	FIRE RATED	MIR	MIRROR	RSF	ROLLER SHADE FABRIC	WP	WATERPROOF(ING)
CO	CONCRETE	FRT	FIRE-RETARDANT TREATED	MISC	MISCELLANEOUS	SC	SOLID CORE	WT	WEIGHT
COL	COLUMN	FS	FIXED SHELF	MLDG	MOLDING	SCHED	SCHEDULE	WWF	WELDED WIRE FABRIC
COMB	COMBINATION	FT	FOOT, FEET	MO	MASONRY OPENING	SECT	SECTION		
COMP	COMPRESSIBLE	FTG	FOOTING	MR	MOISTURE RESISTANT	SHT	SHEET		
CONN	CONNECTION	FURR	FURRING	MS	MASONRY	SIM	SIMILAR		
CONST	CONSTRUCTION	FUT	FUTURE	MT	METAL	SIP	STRUCTURAL INSULATED PANEL		
CONT	CONTINUOUS	GA	GYPSPUM WALL BOARDS ACCESSORIES	MTD	MOUNTED	SL	SEALANT		
COORD	COORDINATE	GALV	GALVANIZED	MULL	MULLION	SLP	SLOPE		
CORR	CORRIDOR			MH	MILLWORK HARDWARE	SN	STAIN		
CP	CARPET					SP	START POINT		
CSG	CASING								

RENDERINGS



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BUILDER:

PROJECT:
ESKOW RESIDENCE
342 Lower Sanborn Road
Stowe, VT 05672
PROJ #: 2504

SHEET NAME:
GENERAL NOTES/ ABBREVIATIONS

SCALE: NTS

SHEET NUMBER:

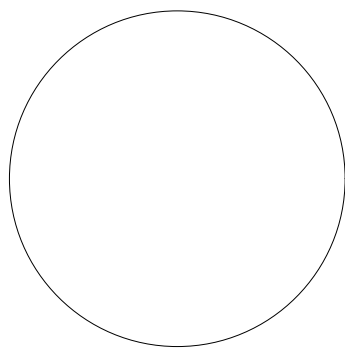
G-001

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NO	ISSUE	DATE
1	TOWN OF STOWE	JULY 21, 2025

TOWN OF STOWE - DRAFT
OCTOBER 17, 2025

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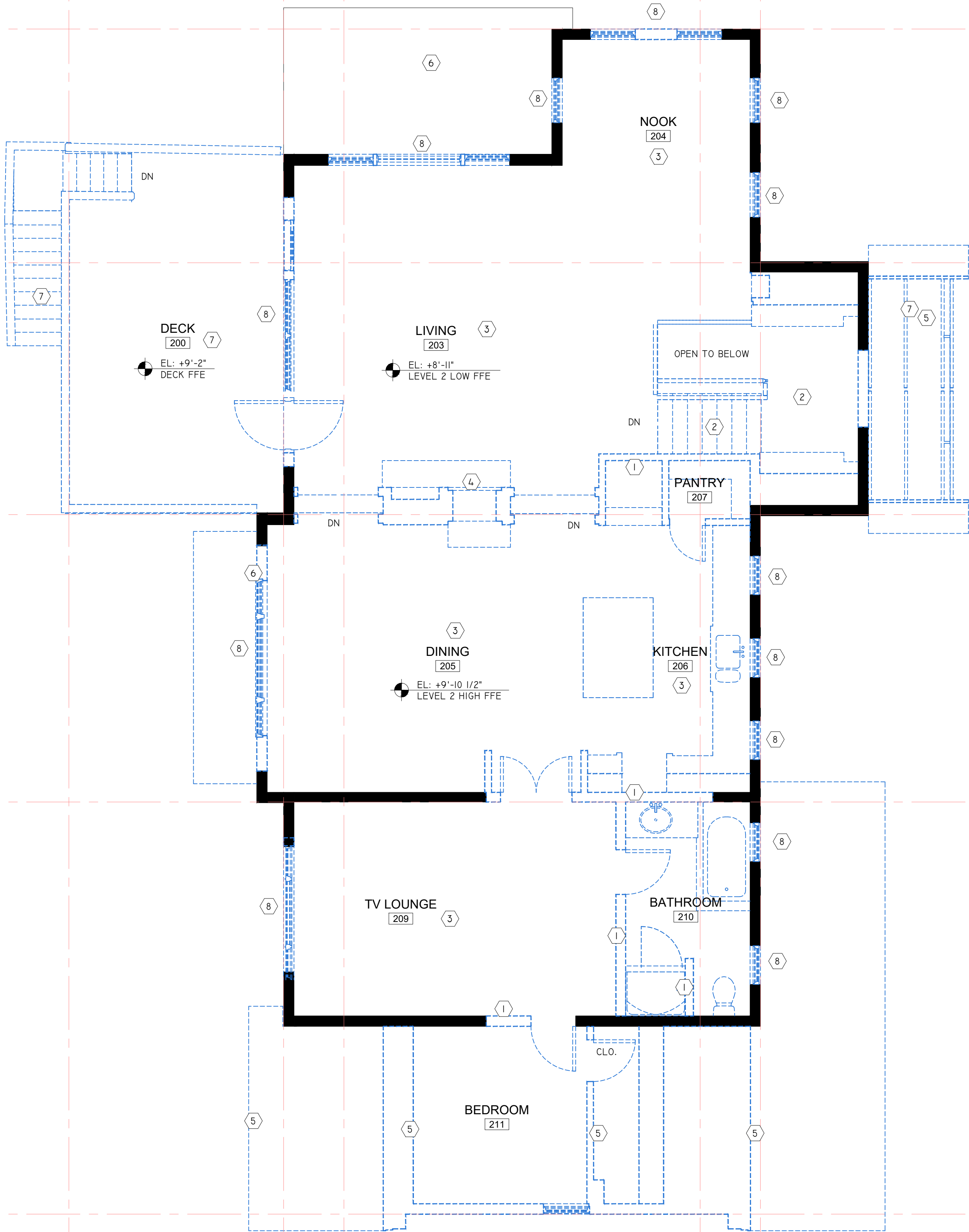
SHEET NAME:
DEMOLITION PLAN
LEVEL 2

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

AD-102

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DEMO NOTES

ELEMENT TO BE REMOVED

EXTG. WALL TO REMAINGENERAL DEMO NOTES:

- REMOVE ALL EXTERIOR SIDING BACK TO SHEATHING
- REMOVE ALL ROOFING BACK TO SHEATHING
- REMOVE WINDOWS AND DOORS THROUGHOUT
- REMOVE ALL PLUMBING FIXTURES THROUGHOUT
- REMOVE INTERIOR TRIM THROUGHOUT
- REMOVE ALL EXTERIOR LIGHTING
- REMOVE APPLIANCES THROUGHOUT
- EXISTING MECHANICAL TO REMAIN
- REMOVE WALL TO WALL CARPET THROUGHOUT BACK TO SUBFLOOR

1

KEYNOTES

1.

REMOVE PORTION OF WALL/ PARTITION

2.

DEMO LANDING/ STAIR/ RAILING

3.

EXISTING FLOORING TO REMAIN. PROTECT DURING DEMO AND CONSTRUCTION

4.

DEMO EXISTING FIREPLACE. GC TO ADVISE CONDITION/ SIZE/ OF EXISTING FLUE

5.

DEMO PORTION OF ROOF AND EXTERIOR WALLS

6.

EXISTING ROOF STRUCTURE TO REMAIN. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL MEMBERS REQUIRED

7.

DEMO EXISTING DECK AND EXTERIOR STAIR

8.

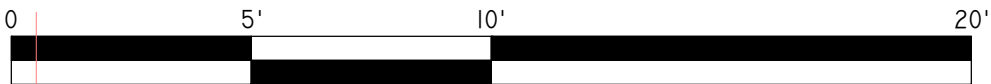
ENLARGE OPENINGS AS NOTED ON BUILDING ELEVATIONS.

9.

REMOVE FLOOR DECK IN BATHROOM TO ENLARGE GARAGE

1 DEMOLITION PLAN - LEVEL 2

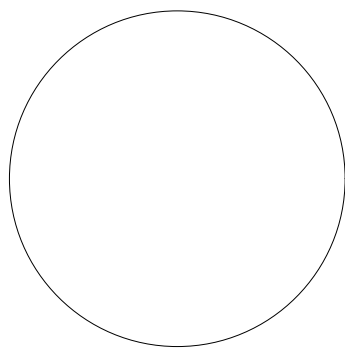
SCALE: 1/4" = 1'-0"



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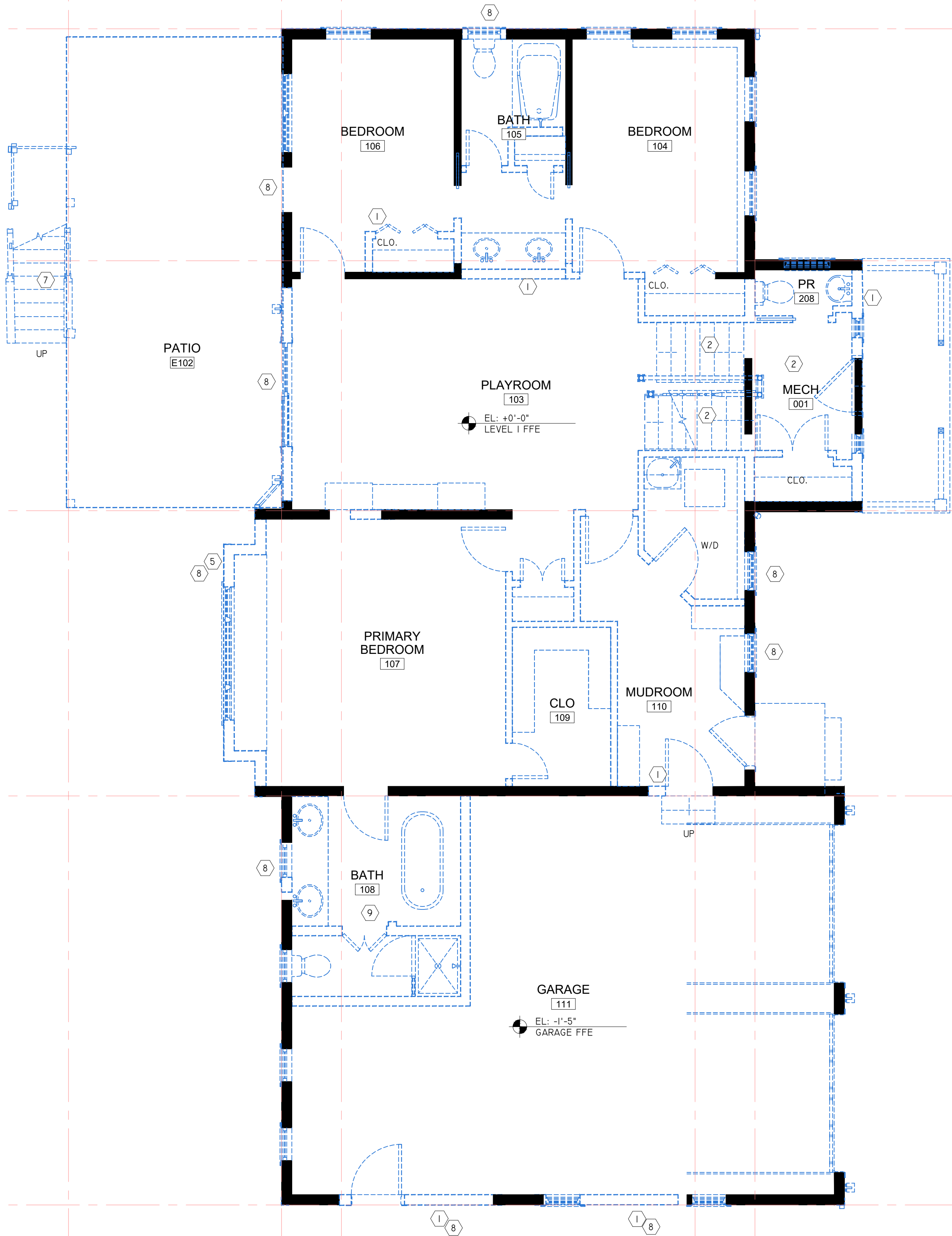
SHEET NAME:
DEMOLITION PLAN
LEVEL 1

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

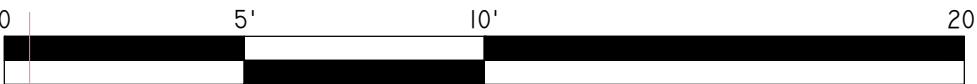
AD-101

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DEMO NOTES	
	ELEMENT TO BE REMOVED
	EXTG. WALL TO REMAIN
<p>GENERAL DEMO NOTES:</p> <ul style="list-style-type: none">- REMOVE ALL EXTERIOR SIDING BACK TO SHEATHING- REMOVE ALL ROOFING BACK TO SHEATHING- REMOVE WINDOWS AND DOORS THROUGHOUT- REMOVE ALL PLUMBING FIXTURES THROUGHOUT- REMOVE INTERIOR TRIM THROUGHOUT- REMOVE ALL EXTERIOR LIGHTING- REMOVE APPLIANCES THROUGHOUT- EXISTING MECHANICAL TO REMAIN- REMOVE WALL TO WALL CARPET THROUGHOUT BACK TO SUBFLOOR	
	KEYNOTES
<p>1. REMOVE PORTION OF WALL/ PARTITION 2. DEMO LANDING/ STAIR/ RAILING 3. EXISTING FLOORING TO REMAIN. PROTECT DURING DEMO AND CONSTRUCTION 4. DEMO EXISTING FIREPLACE. GC TO ADVISE CONDITION/ SIZE/ OF EXISTING FLUE 5. DEMO PORTION OF ROOF AND EXTERIOR WALLS 6. EXISTING ROOF STRUCTURE TO REMAIN. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL MEMBERS REQUIRED 7. DEMO EXISTING DECK AND EXTERIOR STAIR 8. ENLARGE OPENINGS AS NOTED ON BUILDING ELEVATIONS. 9. REMOVE FLOOR DECK IN BATHROOM TO ENLARGE GARAGE</p>	

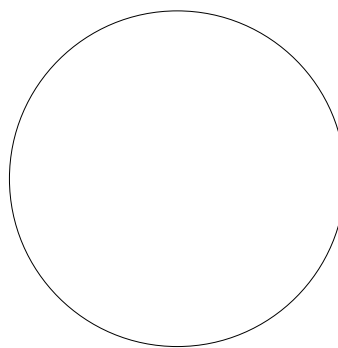
1 DEMOLITION PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"



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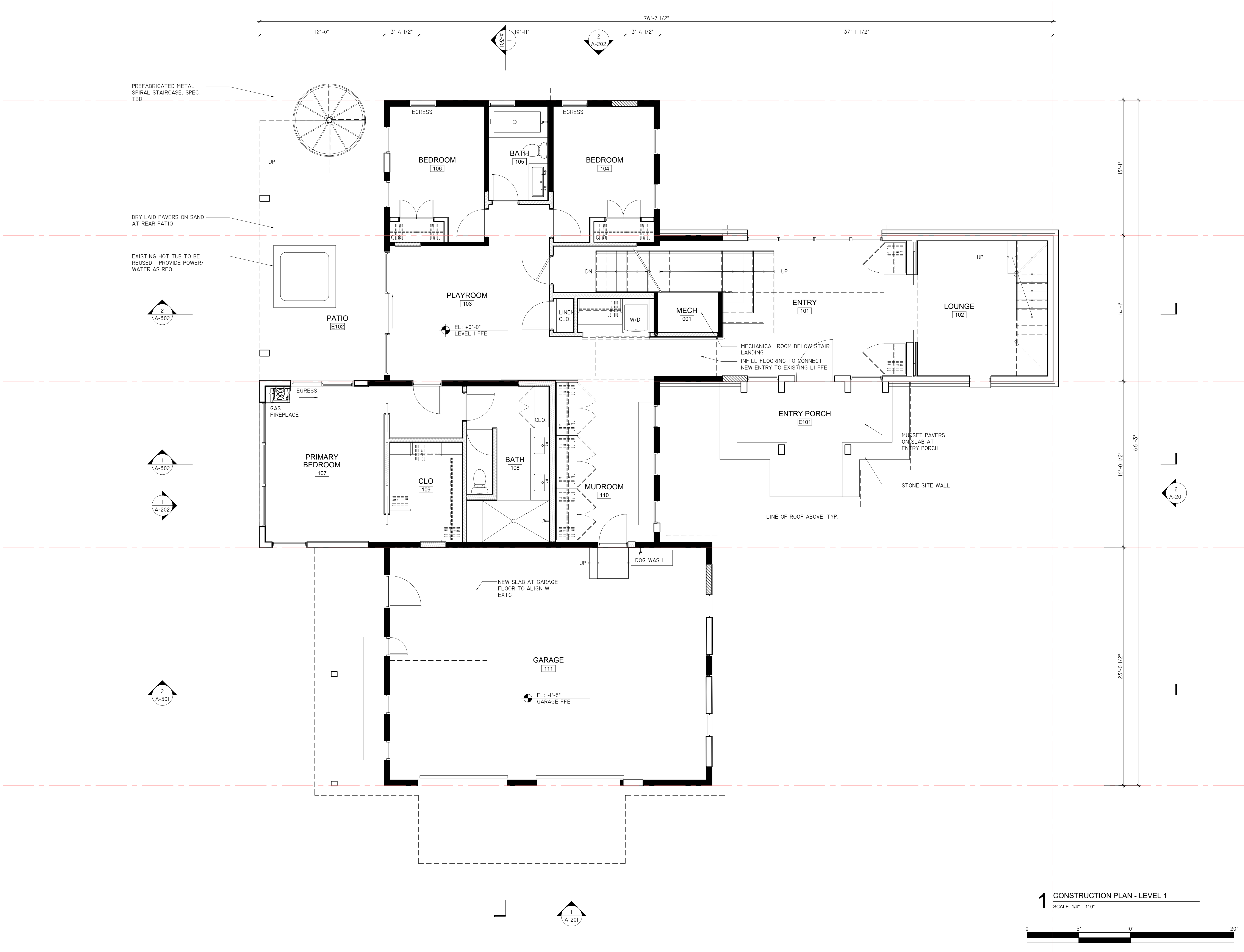
SHEET NAME:
**CONSTRUCTION PLAN
LEVEL 1**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-101

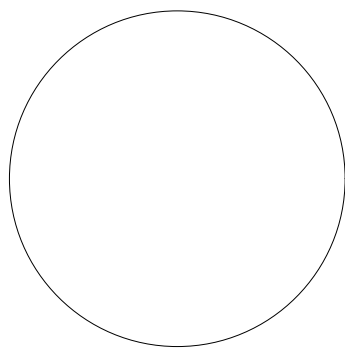
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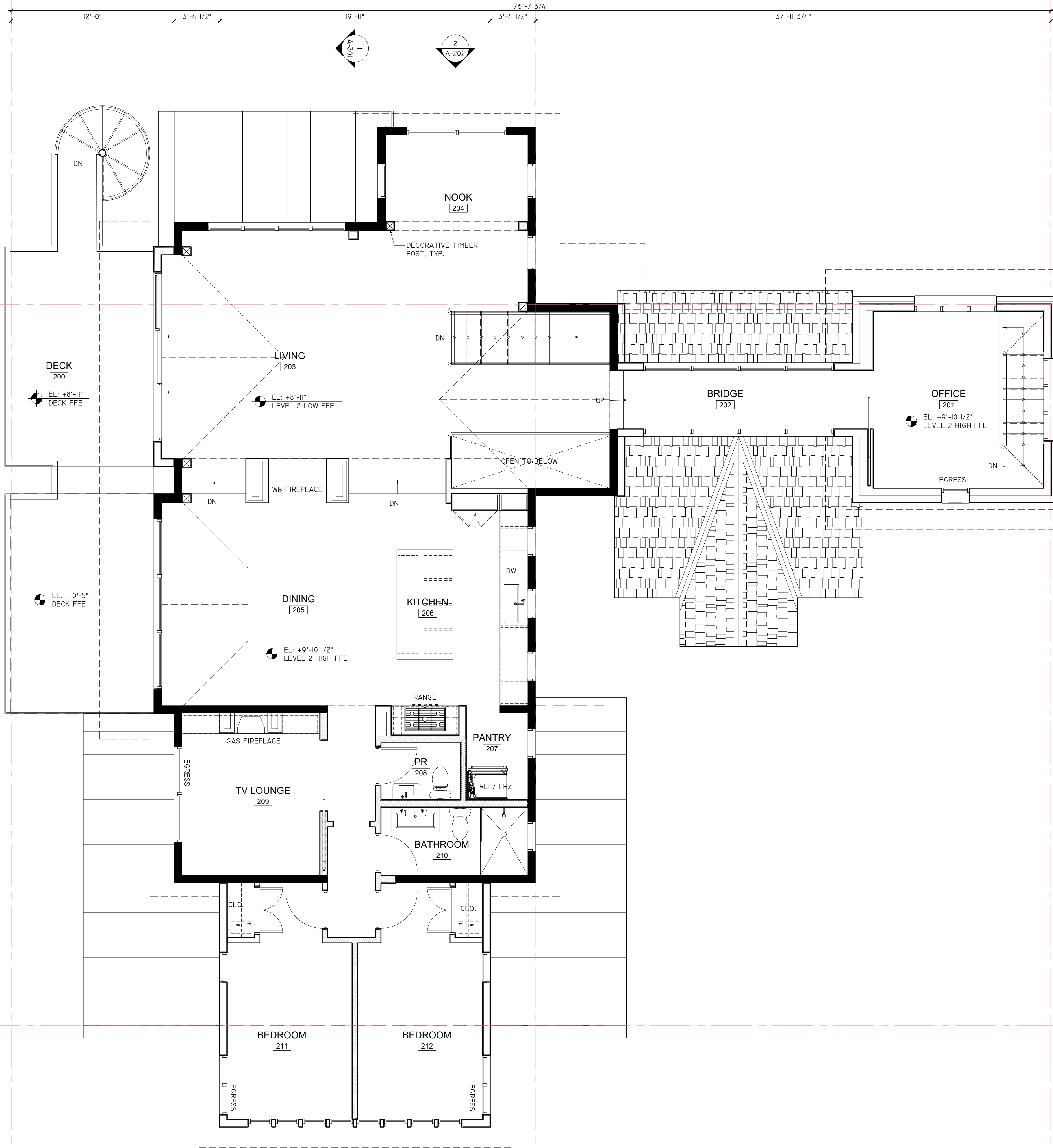
SHEET NAME:
**CONSTRUCTION PLAN
LEVEL 2**

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-102

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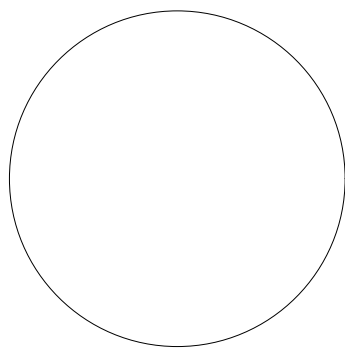
1 CONSTRUCTION PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"



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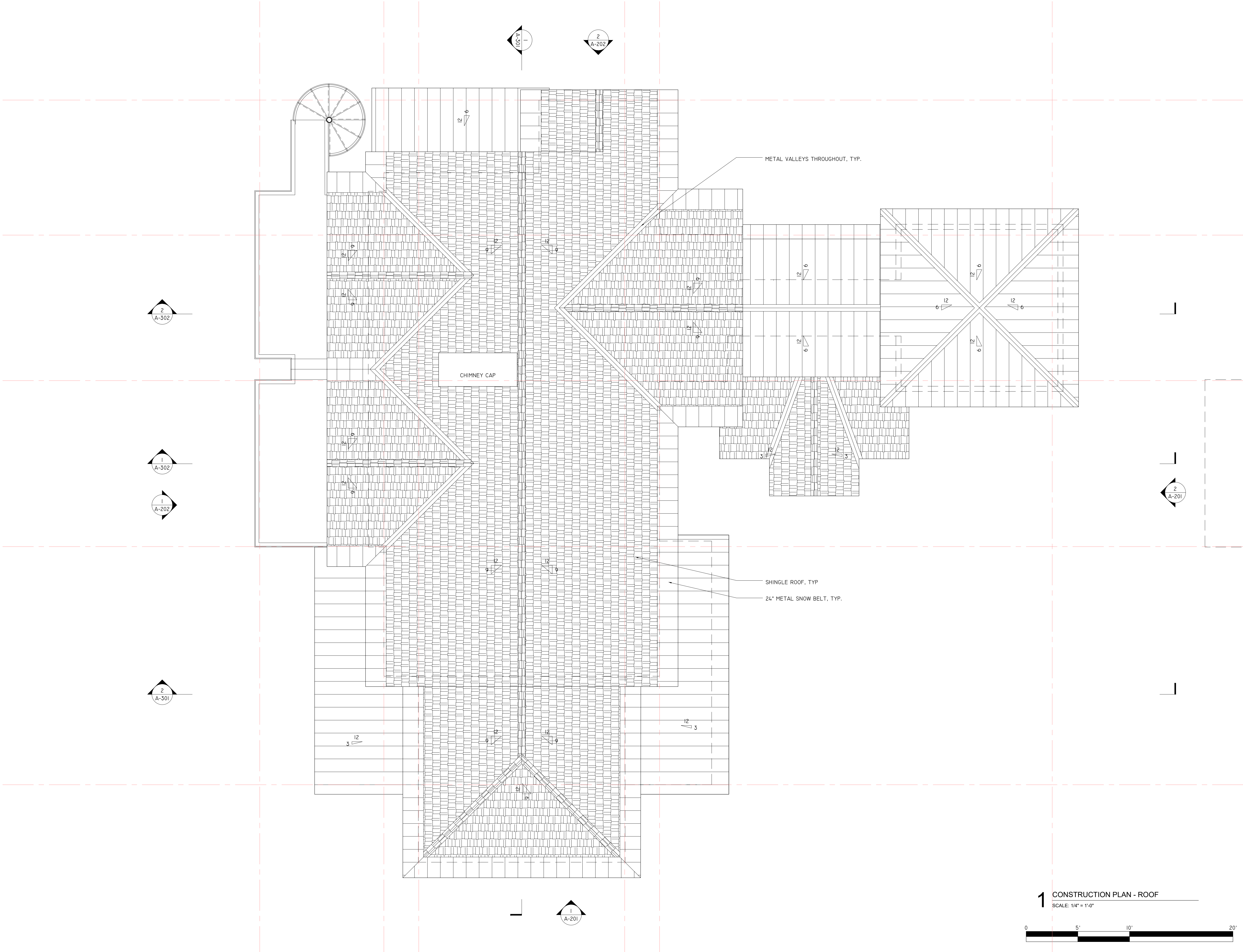
SHEET NAME:
ROOF PLAN

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-103

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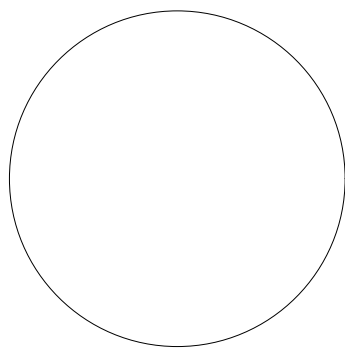
1 CONSTRUCTION PLAN - ROOF
SCALE: 1/4" = 1'-0"



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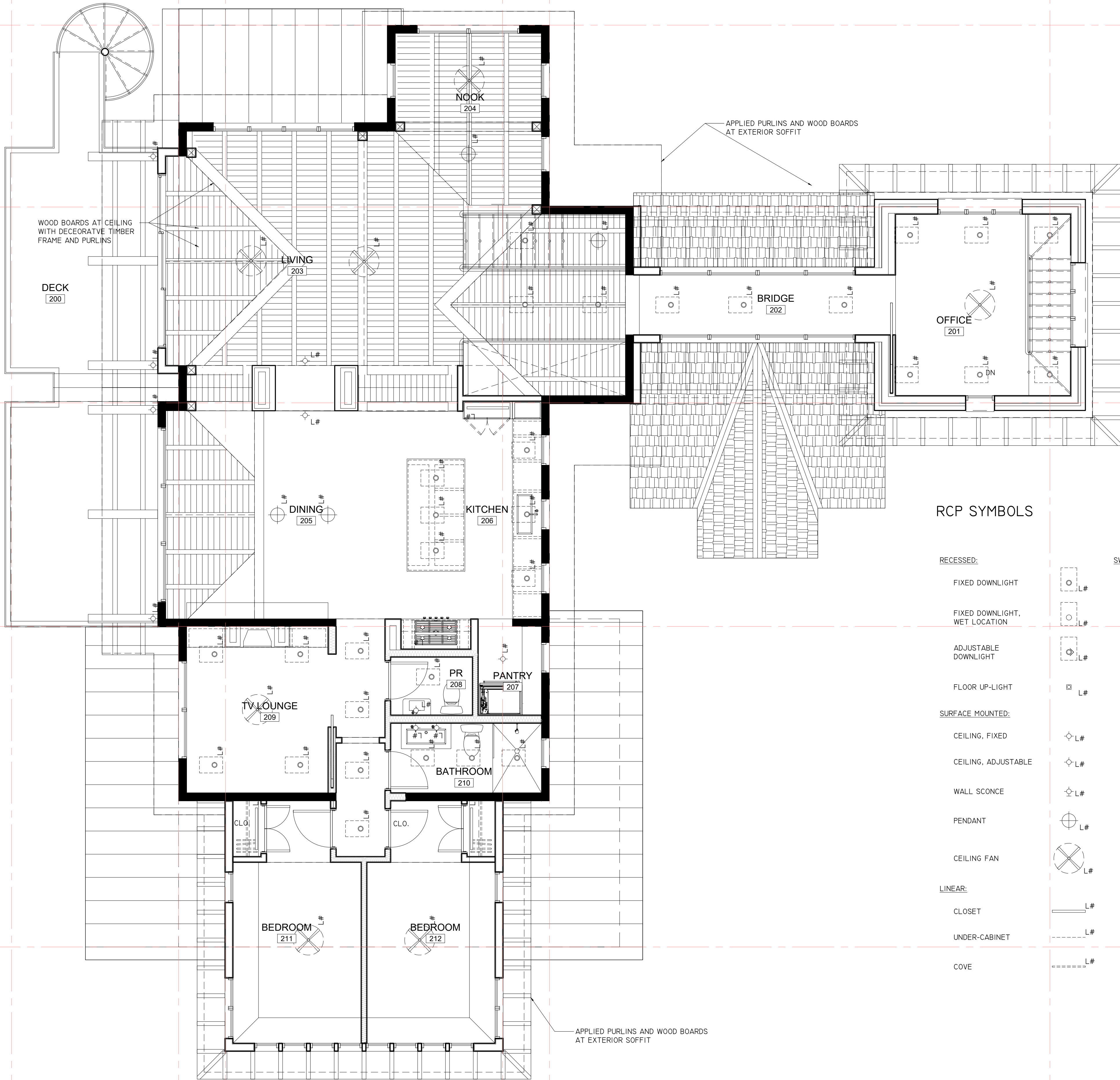
SHEET NAME:
REFLECTED CEILING PLAN
LEVEL 2

SCALE: 1/4" = 1'-0"

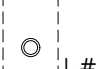



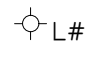
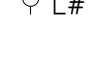

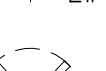


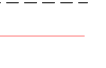

SHEET NUMBER:

A-112

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RCP SYMBOLS

RECESSED:		SWITCHING:	
FIXED DOWNLIGHT	 L#	STANDARD	\$ NOTE 3
FIXED DOWNLIGHT, WET LOCATION	 L#	THREE WAY	\$ NOTE 3
ADJUSTABLE DOWNLIGHT	 L#	DIMMER	\$ NOTE 3D
FLOOR UP-LIGHT	 L#	THREE WAY DIMMER	\$ NOTE 3D
SURFACE MOUNTED:		EXTERIOR	\$ NOTE 3EX
CEILING, FIXED	 L#	JAMB	JS
CEILING, ADJUSTABLE	 L#	KEYPAD	KP-001
WALL SCONCE	 L#	SMOKE DETECTOR	SM
PENDANT	 L#	SMOKE + CARBON DETECTOR	S/C
CEILING FAN	 L#	WALL MOUNTED SMOKE + CARBON DETECTOR	S/C
LINEAR:			
CLOSET	 L#		
UNDER-CABINET	 L#		
COVE	 L#		

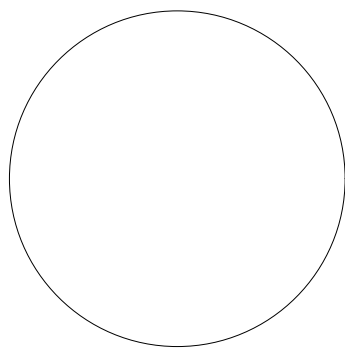
1 REFLECTED CEILING PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"



NO	ISSUE	DATE
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TOWN OF STOWE - DRAFT
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BUILDER:

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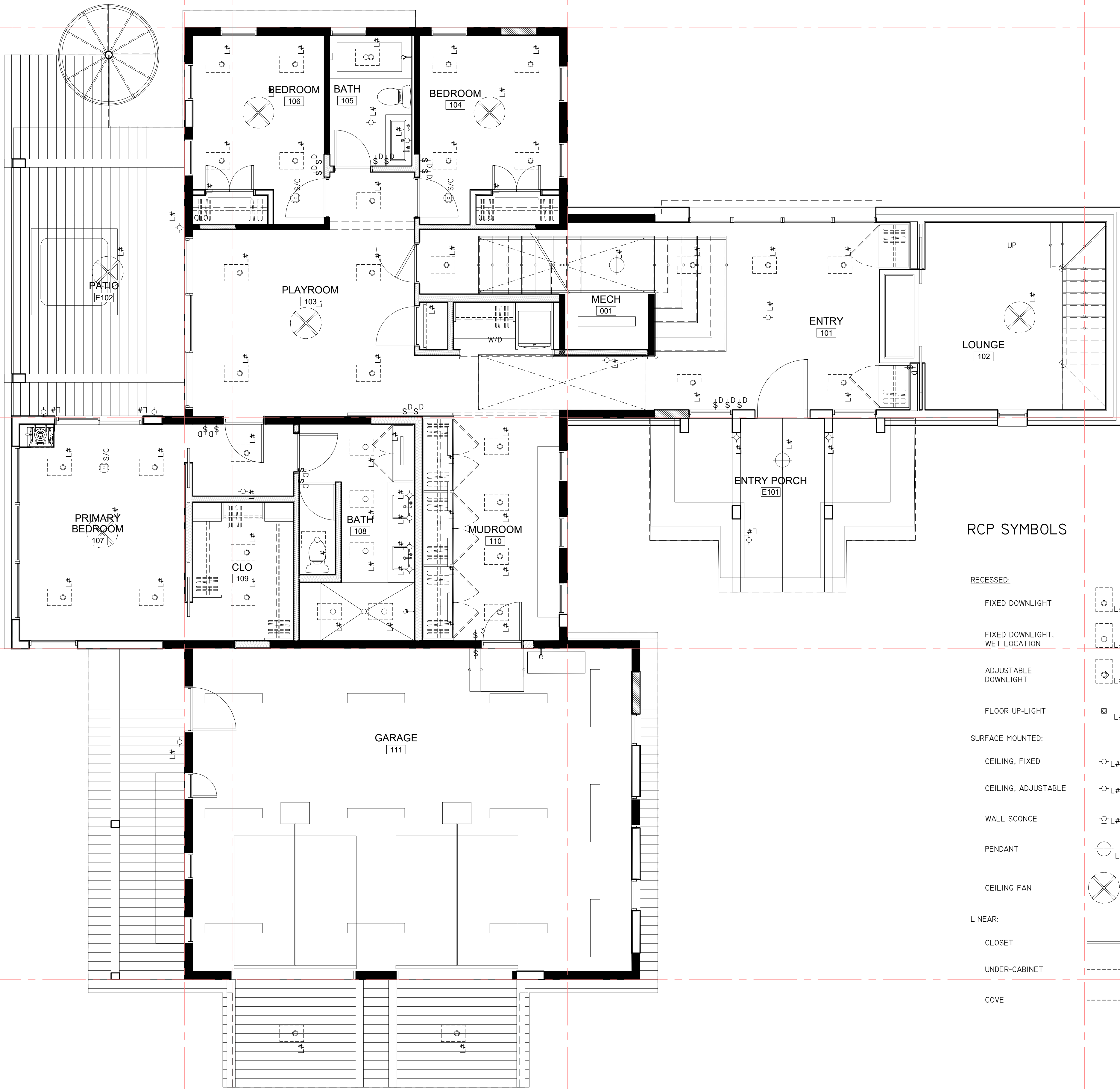
SHEET NAME:
REFLECTED CEILING PLAN
LEVEL 1

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-111

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RCP SYMBOLS

RECESSED:

FIXED DOWNLIGHT



FIXED DOWNLIGHT, WET LOCATION



ADJUSTABLE DOWNLIGHT



FLOOR UP-LIGHT



SURFACE MOUNTED:

CEILING, FIXED



CEILING, ADJUSTABLE



WALL SCONCE



PENDANT



CEILING FAN



LINEAR:

CLOSET



UNDER-CABINET



COVE



NOTE: PAINTED CEILINGS
THROUGHOUT UNLESS
NOTED OTHERWISE

SWITCHING:

STANDARD

\$ NOTE

THREE WAY

\$ NOTE

DIMMER

\$ NOTE

THREE WAY DIMMER

\$ NOTE

EXTERIOR

\$ EX NOTE

JAMB

JS

KEYPAD

KP-001

SMOKE DETECTOR

\$ SM

SMOKE + CARBON
DETECTOR

\$ S/C

WALL MOUNTED SMOKE
+ CARBON DETECTOR

\$ S/C

1 REFLECTED CEILING PLAN - LEVEL 1
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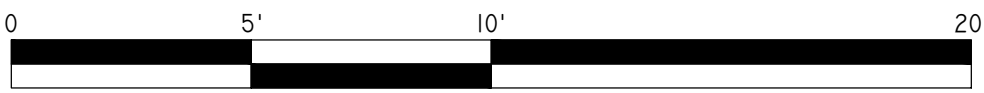
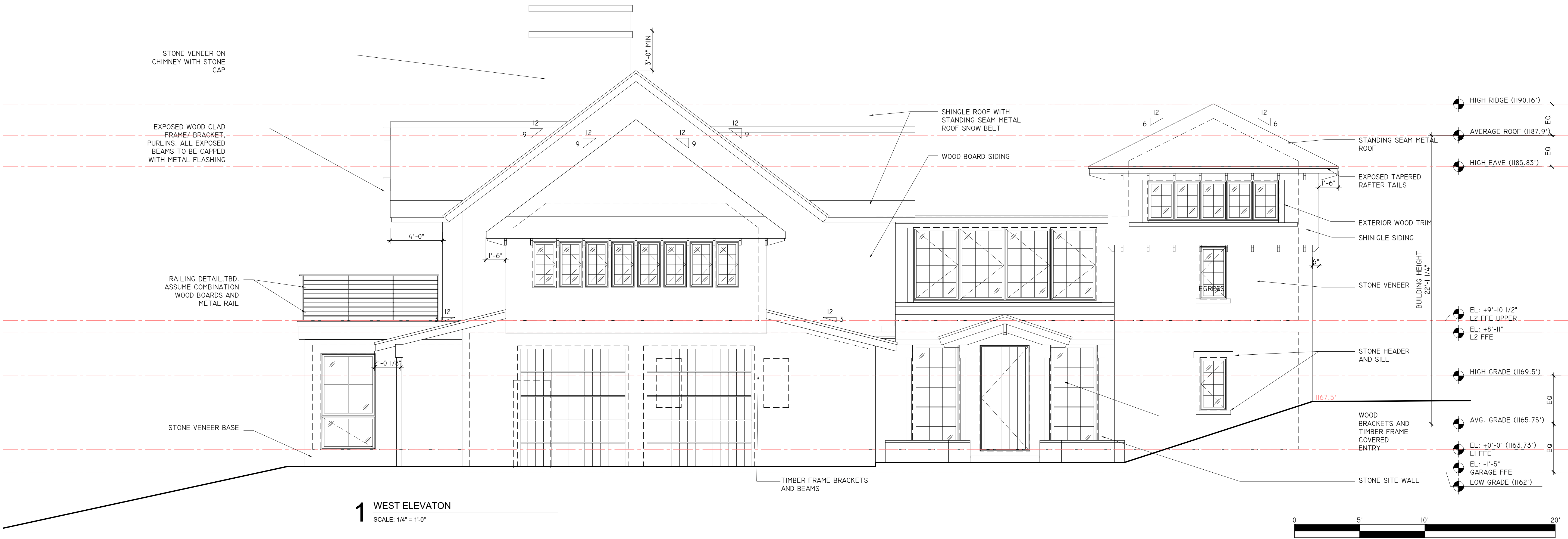
SHEET NAME:
BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-201

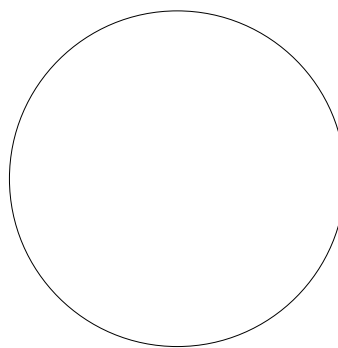
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SHEET NAME:
BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

A-202

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2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

SEE I/A201 FOR ALL TYPICAL NOTES



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SEE I/A201 FOR ALL TYPICAL NOTES

