



Development Application
Town of Stowe Planning & Zoning Department
PO Box 730
Stowe, VT 05672
Telephone: (802) 253-6141
This form serves as an application for all requested zoning and subdivision reviews.

Project #
(To be assigned)

Date Received:

Property Owner Information

Property Owner	PETER LIVADITIS, MAPLE CORNER INVESTMENTS, LLC	
Mailing Street Address		
City, State and Zip		
Telephone Number	Email	

Applicant Information (Relationship to Owner)

Owner (If so, skip to property information) Lessee Contractor
 Architect/Designer Agent for Owner Under purchase contract

All information and correspondence is sent to applicant/contact.

Applicant Name	KELLEY OSGOOD, VOLANSKY STUDIO	
Company (if any)		
Mailing Street Address	135 LUCE HILL ROAD, STOWE, VT 05672	
City, State and Zip		
Phone Number	802-730-3718	Email Kelley@volanskystudio.com

Property Information & Location

Physical Address	55 MOUNTAIN ROAD	
Tax Map ID		

Existing Use	MIXED-USE	Proposed Use	NO CHANGE
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Please briefly describe the proposed project, intended use, and/or development request below:

INFILL 9' x 12' SECTION OF EXISTING DECK

For All Approvals:

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if:	Signature:
<input type="checkbox"/> Property Owner OR	<i>Kelley</i>
<input checked="" type="checkbox"/> Agent for Owner	Date: 7/24/25

Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved.

The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all projects:

Will there be a new curb cut (driveway opening)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will over 1/2 acre of land be graded or disturbed?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will the development create an additional 1/2 acre of impervious surface?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Maximum Bldg. Height: 54. * Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

Existing Rooms: <u>N/A</u>	# Bathrooms:	# Bedrooms:	# Kitchens:
New Rooms: <u>N/A</u>	# Bathrooms:	# Bedrooms:	# Kitchens:

Please complete the fee calculation below for all applications:

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
	Fee:	\$

Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.) <u>108</u>	\$0.25	<u>27.00</u>
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
	Fee:	\$

Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	<u>250</u>
Conditional Use Review <u>HPC DRB</u>	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
	Fee:	\$
Signs	\$70.00	
	Fee:	\$
Recording Fees /Stowe Land Records (set by state law)		

Additional Recording Fee for decision notice	\$15.00/page	\$
Additional Recording Fee for permit	\$15.00/page	\$ 15.00
Additional Recording Fee for Mylar	\$25.00/sheet	\$
Total Application Fee Including Recording	\$ 292.00	

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to www.townofstowevt.org/townclerk/ and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.

OFFICE USE ONLY

Date Received _____

Permit Fee	\$
Recording Fee	\$
TOTAL FEE	\$

Zoning District _____

Check #

Cash

Overlay District _____

Approved Date _____

Effective Date _____

Expiration Date _____

Denied Date _____

Referred _____

Reason _____

Hearing Date _____

Comments/Conditions

Zoning Administrator

Date

For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at
PandZ@stowevt.gov

The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.

Information Needed to Determine Substantial Damage

Your building may have been Substantially Damaged.

When a structure in the high risk Special Flood Hazard Area is Substantially Damaged (SD), the permit issued for any repair will also require that the lowest floor of the building be elevated **at least two (2) feet*** above the Base Flood Elevation, or as required in bylaw.

*Elevation standards may vary between communities. Check your community's bylaw.

Please be aware that VTDEC recommends elevation of at least 2 feet above the BFE to reduce future risk and the significantly lower flood insurance premiums.

"Substantial damage" means damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.

First, is the structure historic?

Historic buildings, that retain their historic status after the improvement, may be exempt from the need to elevate the lowest floor.

<input type="checkbox"/> No	Historic structure. Attach documentation of historic status.
<input type="checkbox"/> No	Given the proposal, the structure will retain historic status after improvements. Attach documentation
<input type="checkbox"/> No	If both, the elevation of the lowest floor might not be required, however, other regulatory criteria still apply.

"Historic structure" means any structure that is: (a) listed individually in the National Register of Historic Places (a listing maintained by the Department of the Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register; (b) certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district; (c) individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or (d) individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either: (i) by an approved state program as determined by the Secretary of the Interior or (ii) directly by the Secretary of the Interior in states without approved programs.

Market Value of Building

Box A **Adjusted Assessed Value** of the building (only). Attach lister values.

Box B Or, attach **qualified appraisal** of the market value of the building (only) before the damage. Attach appraisal and credentials.

Box C The most accurate market value to be used in the determination (either Box A or Box B)

Building Damage

Box D Estimated cost of all **damage/repairs** to the building needed to bring it back to its pre-damaged condition.
This includes exterior and interior work on the structure itself including built-in/wired-in fixtures, carpet, blinds, sheetrock, etc.
Attach contractors' estimates (or other damage estimate source) with a detailed breakdown covering labor and materials at market rates.

See FEMA SJ/SD costs to include/exclude for a detailed list of cost breakdowns

If the building will also be improved then a determination of **Substantial Improvement** must be made separately:

Box E Estimated cost of all **damage/repairs and proposed improvements** to the building itself.

Box F Total improvements and damage repairs from **last year**.

Box G Total improvements and damage repairs from **two years ago**.

Box H Total improvements and damage repairs from **three years ago**.

Box I **Total Cumulative Improvements and Repairs over the past three years plus proposed work** (addition of Box E-Box H)

Box J Or, **Total Cumulative Improvements and Repairs** covered by the **Common Plan of Development**

Box K **Grand Total Cumulative Improvements and Repairs** (the addition of Box I and Box J)

Notes:

1. Exclude any costs outside the structure (eg landscaping, septic, well, engineering or permits) & plug-in appliances inside the building
2. Exclude any costs required to correct existing violations of state or local health, sanitary, or safety code specifications which had been previously
3. Exclude debris clean up and trash removal.
4. Exclude costs to temporarily stabilize the building in order to do an assessment of damage and estimate for cost of repairs

Substantial Damage Determination

Box L **0%** **Total Percent Damage** $([\text{Cost of Damage}]/[\text{Repairs Per Market Value of Building}]) \times 100$ or $([\text{Box D}/\text{Box C}] \times 100)$
> 50% Substantial Damage

Substantial Improvement Determination

Box M **Total Percent Improvement** $([\text{Cumulative Improvements and Repairs}]/[\text{Market Value of Building}]) \times 100$ or $([\text{Box K}/\text{Box C}] \times 100)$
> 50% Substantial Improvement

"Substantial improvement" means any repair, reconstruction, rehabilitation, addition, or other improvement of a structure after the date of adoption of this bylaw, the cost of which, over three years or over the period of a common plan of development, cumulatively equals or exceeds 50 percent of the market value of the structure before the "start of construction" of the improvement. This term includes structures which have incurred "substantial damage," regardless of the actual repair work performed. The term does not, however, include either: (a) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been previously identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions or (b) Any alteration of an "historic structure," provided that the alteration will not preclude the structure's continued designation as an "historic structure." *

* Please note that this is the definition found in the VT DEC Model Flood Hazard Bylaws, and requires tracking improvements over three years. Please check your own bylaw for the definition to use.

"Market Value" The price at which a property will change hands between a willing buyer and a willing seller, neither party being under compulsion to buy or sell and both having reasonable knowledge of relevant facts. As used for floodplain management, the term refers to the market value of buildings and structures, excluding the land and other improvements on the parcel. Market value may be established by a qualified independent appraiser, Actual Cash Value (replacement cost depreciated for age and quality of construction), or tax assessment value adjusted to approximate market value by a factor provided by the Property Appraiser.

"Common plan of development" means where a structure will be refurbished or constructed under one approved plan or permit, but in separate stages, phases, or in combination with other construction activities. Such work may be planned unit by unit and may take place at different times, on different schedules.

Building Systems for Damage Estimates	
<input type="checkbox"/>	Foundation
<input type="checkbox"/>	Electrical (panels, wiring)
<input type="checkbox"/>	HVAC - including furnace, ducts
<input type="checkbox"/>	Fuel tank
<input type="checkbox"/>	Floor repairs (structural, subflooring, insulation and finish)
<input type="checkbox"/>	Walls and ceiling repairs (structural, subflooring, insulation and finish)
<input type="checkbox"/>	Built-in appliances and equipment (eg dishwashers, elevators)
<input type="checkbox"/>	Built-in furnishings (eg cabinets, carpeting, blinds)
<input type="checkbox"/>	Exterior finishes
<input type="checkbox"/>	Windows and doors
<input type="checkbox"/>	Hot water system, pressure tank, cistern
<input type="checkbox" value="25000"/>	Attached porch, garage, breezeway
<input type="checkbox"/>	Plumbing
	Total toward damage or improvement estimate



Town of Stowe
Attn: Sarah McShane, Zoning Director
67 Main Street
Stowe, VT 05672

November 12, 2025

Re: 55 Mountain Road Substantial Improvement Calculations.

Dear Sarah,

Peter Livaditis, the owner of Maple Corner Investments is planning a deck addition to the existing building at 55 Mountain Road. The deck addition will connect two existing decks and complete external pedestrian access along the side and rear of the building. A structural post must be installed to support this new section of deck. The post and its anchor will be placed within the 100-year floodplain of the West Branch. No fill is required to install this post and being only 8" wide will have little to no measurable effect on the flow path of the West Branch and channel width. Improvements made with the floodplain must show they do not each the definition of "Substantial Improvement". Total improvements made to a build that increase its value by over 50% would require the whole building to be raised or waterproofed to two feet above base flood elevation (BFE). In this case the deck addition will cost \$28,000, and the assessed value of the existing building is \$2,000,000. The total percentage of the improvement is 1.40%, please see the attached exhibits for calculations. We submit that because the building improvements are well below 50% FEMA and the Agency of Natural Resources can approve the deck addition per their rules. Please don't hesitate to contact our office if you have any questions,

Sincerely

A handwritten signature in blue ink. The signature starts with a stylized 'J', followed by 'ohn', 'Grenier', 'PE', and 'President, Grenier Engineering, PC'.

John Grenier, PE
President, Grenier Engineering, PC

SCALE 1 INCH = 20 FEET

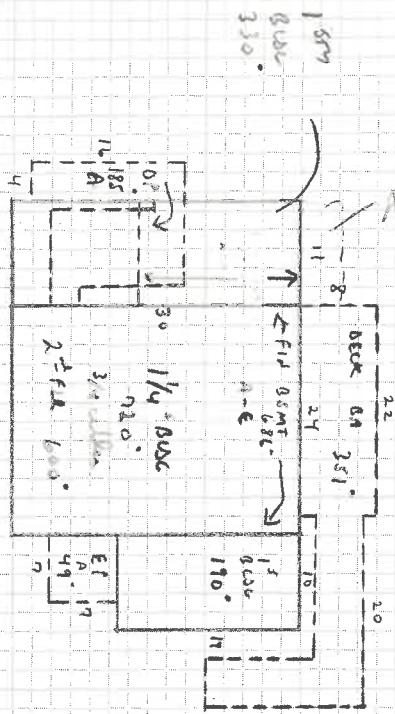
8

02134-
MAPLE CORNER INVESTMENTS LLC
2.04 AC & COMM BLDGS
7n 124 000

REMARKS

REGISTERS OF WADING THRESHES LOG
APR 1900 SUMT & 4000 LBS. PLATE - RETIREL 1ST CLASS

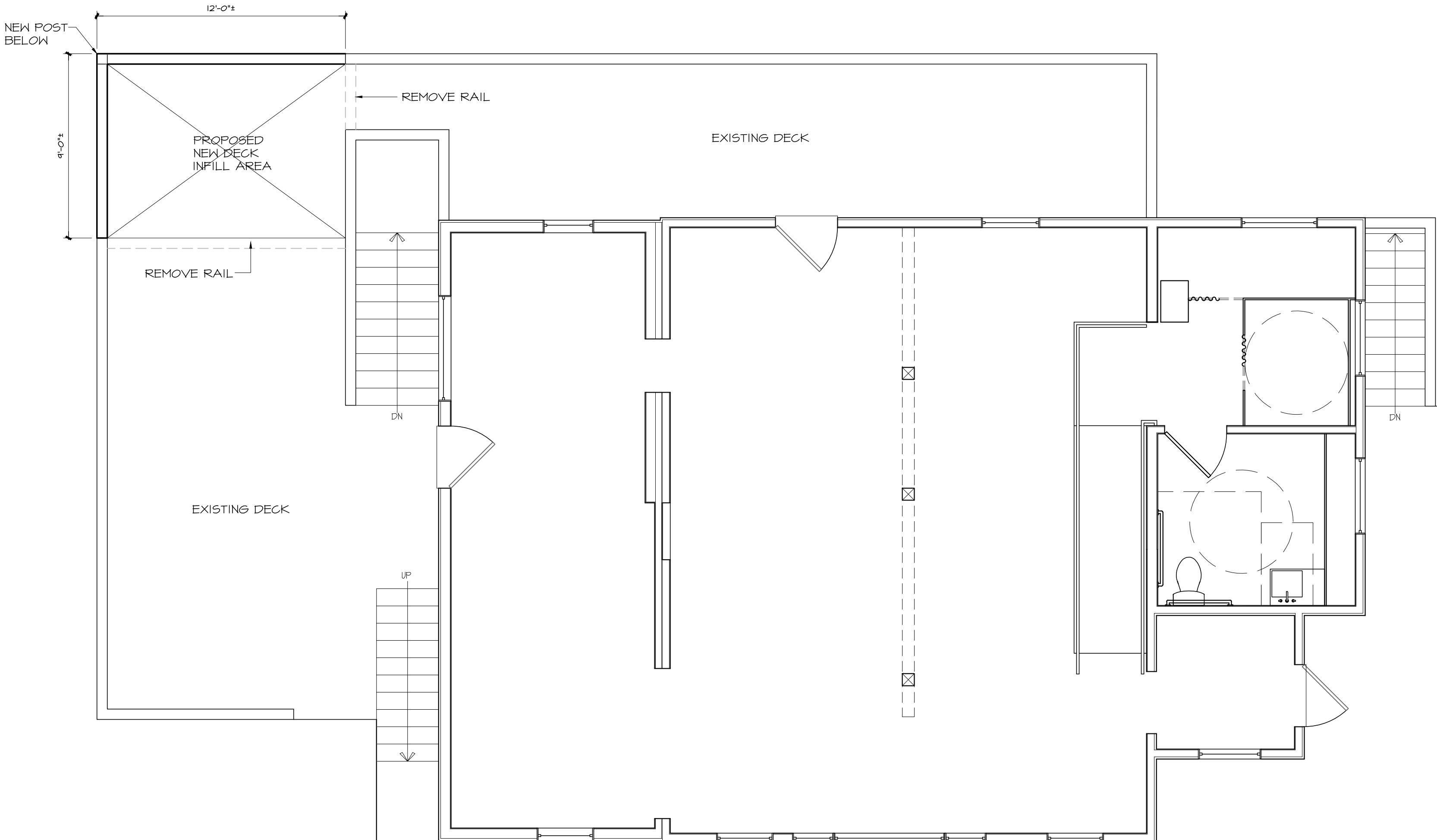
TRANSFER RECORD



TOTAL ROOMS					BED ROOMS					BATH ROOMS				
B	1	2	3	4	B	1	2	3	4	B	1	2	3	4
4	3	3			1	0	2			1	0	1		

DATE OF
MEASUREMENT
1-11-93





PROPOSED
MAIN LEVEL FLOOR PLAN

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

VSAP



EXISTING
NORTH ELEVATION

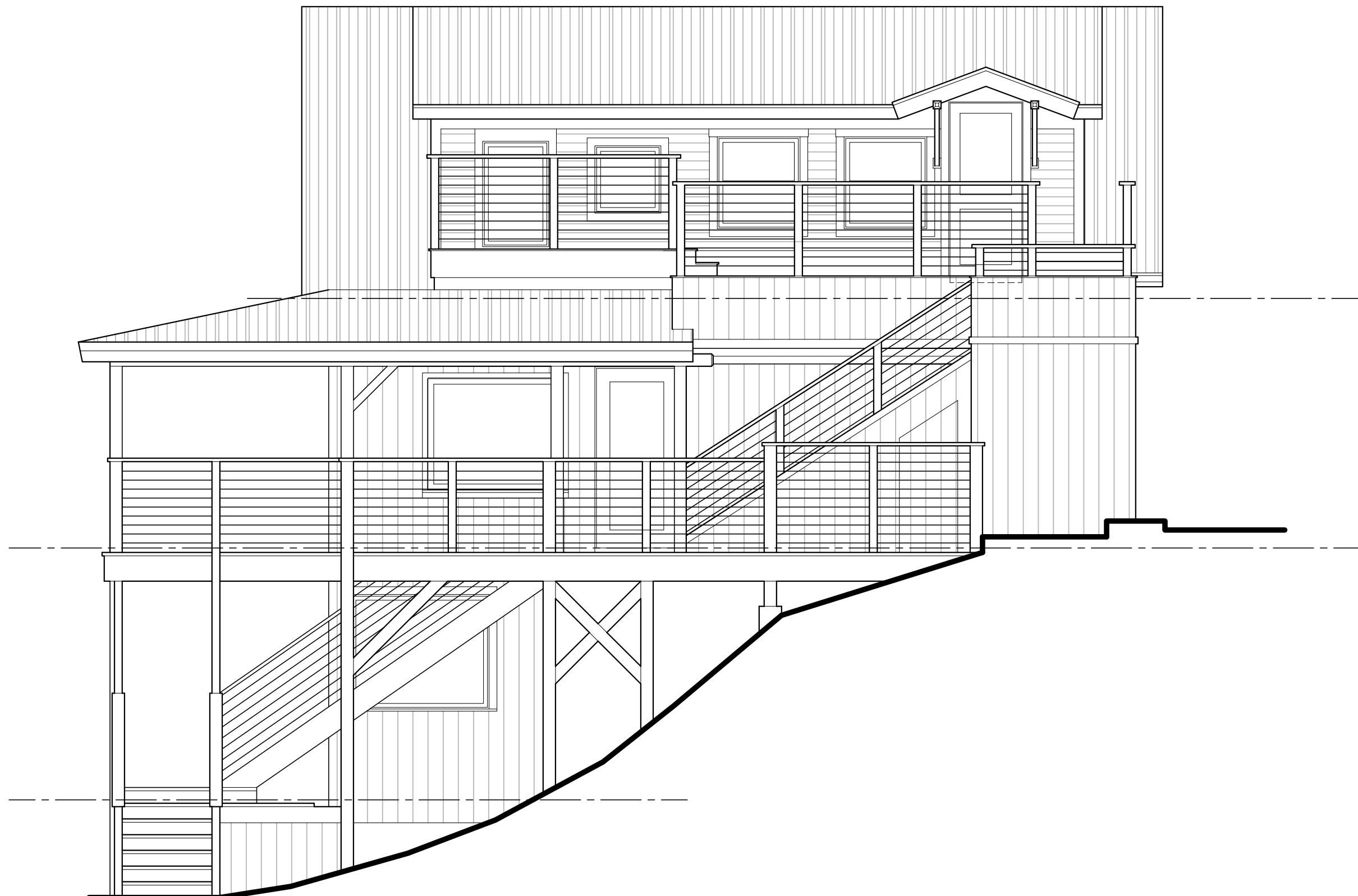
SCALE 1/4" = 1'-0"

55 MOUNTAIN ROAD

10-10-25

MAPLE CORNER PROPERTIES

VSAP



EXISTING
WEST ELEVATION

SCALE 1/4" = 1'-0"

55 MOUNTAIN ROAD

10-10-25

MAPLE CORNER PROPERTIES

VSAP



PROPOSED
NORTH ELEVATION

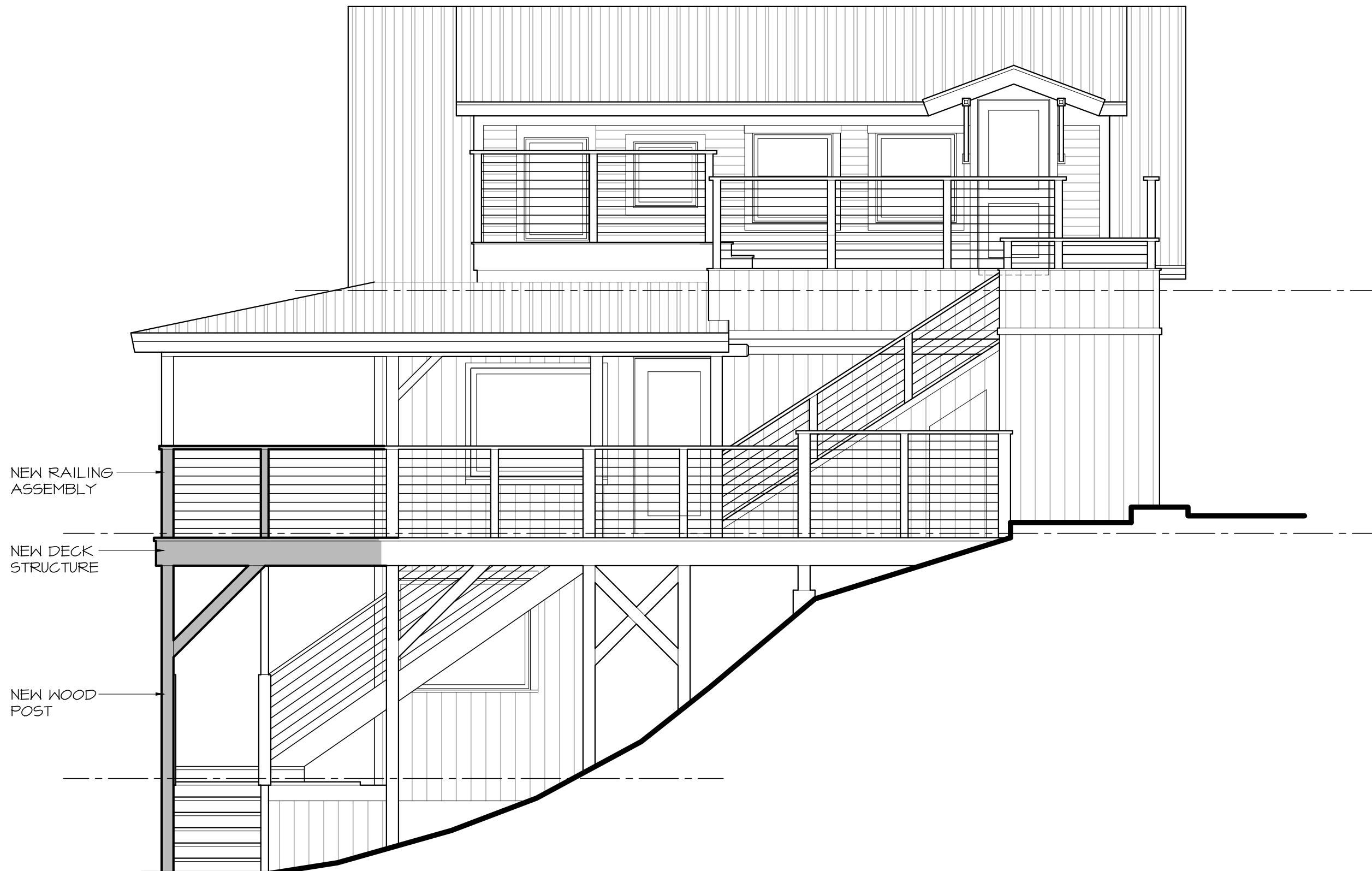
SCALE 1/4" = 1'-0"

55 MOUNTAIN ROAD

10-10-25

MAPLE CORNER PROPERTIES

VSAP



PROPOSED
WEST ELEVATION

SCALE 1/4" = 1'-0"

55 MOUNTAIN ROAD

10-10-25

MAPLE CORNER PROPERTIES

VSAP

EDGE OF FLOODWAY/100 YR FLOOD PLAIN
PER DFIRM XS BY ELEVATION AT 698.0

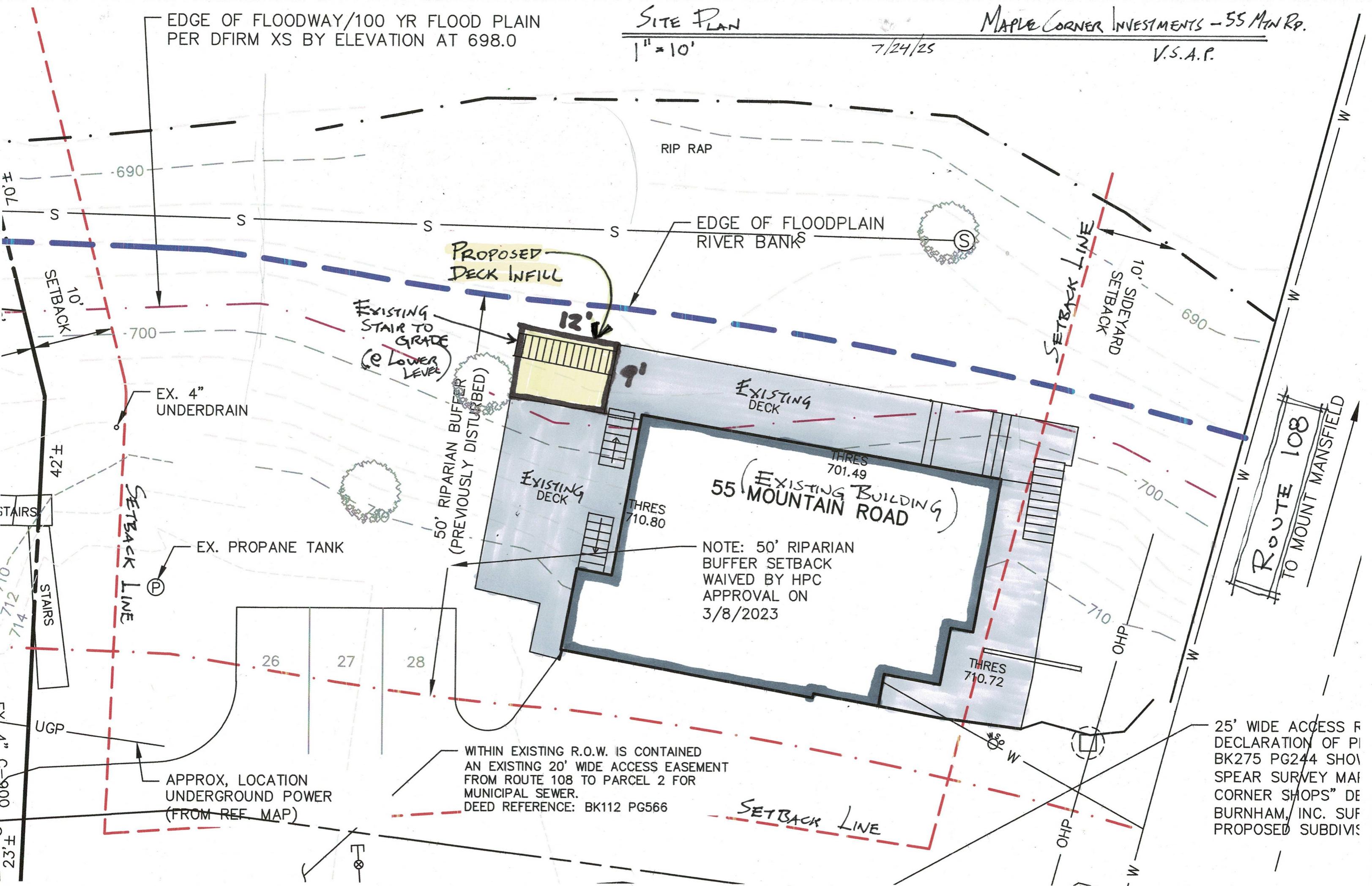
SITE PLAN

1" = 10'

MAPLE CORNER INVESTMENTS - 55 MIN RD.

7/24/25

V.S.A.P.





AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25

AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25



AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25



MAPLE CORNER INVESTMENTS
VSAP
7-24-25



PROPOSED
NORTH ELEVATION

SCALE 1/4" = 1'-0"

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

II-4-25

VSAP

Stowe, VT - Property Database - Detail Result

Last Updated: July 23, 2025 | Official copies of data must be obtained at the Stowe Office.

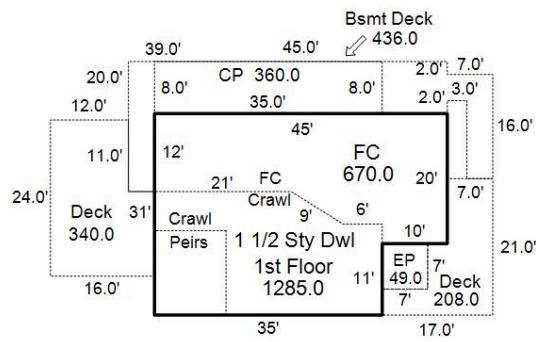
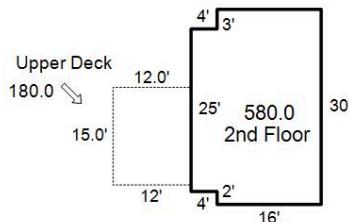
Powered by
www.nemrc.com

Owner Information		Parcel Value Information	
Parcel Owner	02134 MAPLE CORNER INVESTMENTS LLC 703 WORCESTER ROAD CALAIS, VT 05648	Land Value	3,012,500 Homestead
Location	55 MOUNTAIN RD #A	Dwelling Value	2,583,700 Housesite
Tax Map #	7A-134.000	Site Imprmnt	355,000
Descr	2.04 AC & COMM BLDGS	Outbuildings	
Parcel Information		Total	5,951,200
NBHD	25 SPAN 621-195-10939		
Acres	2.04 Status A - Active		
Sales Information			
Book	Sale Date //		
Page	Sale Price		
BUILDING	Total Rooms 6	Year Built 1900	Building SF 1865.00
	Bedrooms 2	Effect Age	Energy Adj Average
	Full Baths 1	Condition Avg/Good	Bsmt Wall Conc 8in
	3/4 Baths	Phys Depr 23	Style 3.50
	Half Baths 1	Funct	Bsmt SF 1.5 Fin
		Depr 10	Design 1.5 Sty
	Kitchens	Econ	Bldg Type Single
		Depr	Bsmt Fin SF 670
Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107		
BUILDING	Total Rooms 4	Year Built 1850	Building SF 2137.00
	Bedrooms 1	Effect Age	Energy Adj Average
	Full Baths 1	Condition Good	Bsmt Wall Conc 8in
	3/4 Baths	Phys Depr 15	Style 4.00
	Half Baths 1	Funct	Bsmt SF 1.5 Fin
		Depr 10	Design 1.5 Sty
	Kitchens	Econ	Bldg Type Contemp
		Depr	Bsmt Fin SF 1457
Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107		
BUILDING	Total Rooms 12	Year Built 2024	Building SF 2819.00
	Bedrooms 3	Effect Age	Energy Adj No Data
	Full Baths 2	Condition Excellent	Bsmt Wall Conc 12in
	3/4 Baths	Phys Depr 1	Style 4.00
	Half Baths 1	Funct	Bsmt SF 2.5 Fin
		Depr 10	Design ResComm
	Kitchens	Econ	Bldg Type Single
		Depr	Bsmt Fin SF 1457
Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107		
BUILDING	Total Rooms 9	Year Built 1900	Building SF 2473.00
	Bedrooms 3	Effect Age	Energy Adj Average
	Full Baths 2	Condition Fair/Avg	Bsmt Wall Stone
	3/4 Baths	Phys Depr 35	Style 3.00
	Half Baths 1	Funct	Bsmt SF 1.5 Fin
		Depr 10	Design ResComm
	Kitchens	Econ	Bldg Type Single
		Depr	Bsmt Fin SF 528
Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107		
BUILDING	Total Rooms 17	Year Built 1850	Building SF 5292.00
	Bedrooms 8	Effect Age	Energy Adj Good
	Full Baths 4	Condition Good	Bsmt Wall Stone
	3/4 Baths	Phys Depr 15	Style 5.00
			Bsmt SF 2 Story
			Design ResComm
	Kitchens	Econ	Bsmt Fin SF 924
		Depr	Porch 1
Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107		

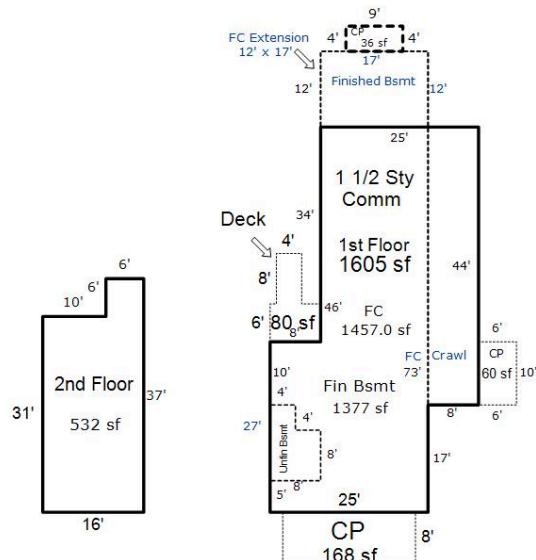
Half Baths	1	Funct Depr	10	Bldg Type	Single	Bsmt Fin SF	Gar/Shed
Kitchens		4					
Notes							Building #5 1st floor setup as a gallery - 3 rooms, 1/2 bath, office and 1/2 bath 2nd floor is 3 apartments, all are 4 rooms, 2 bedrooms and bath. Building is in good condition for age.

LAND	Land	1	Area	2.00	Grade	4.00	Frontage
LAND	Land	5	Area	0.04	Grade	5.00	Frontage

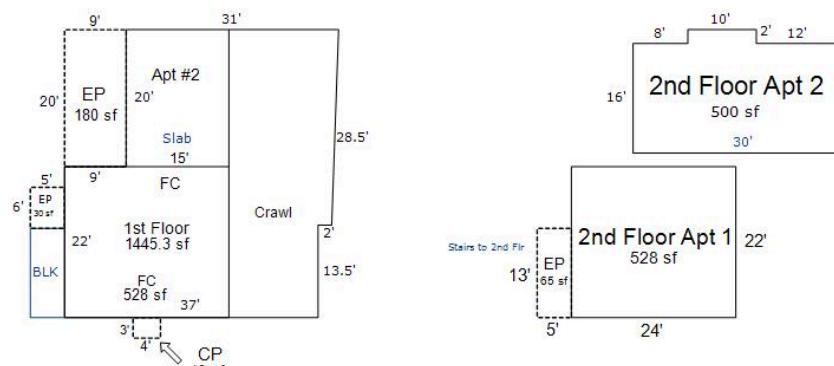
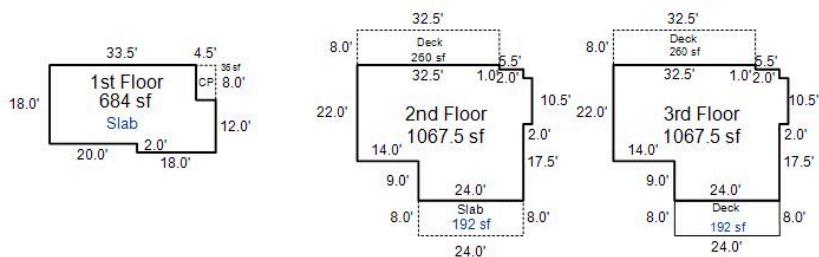
Sketch



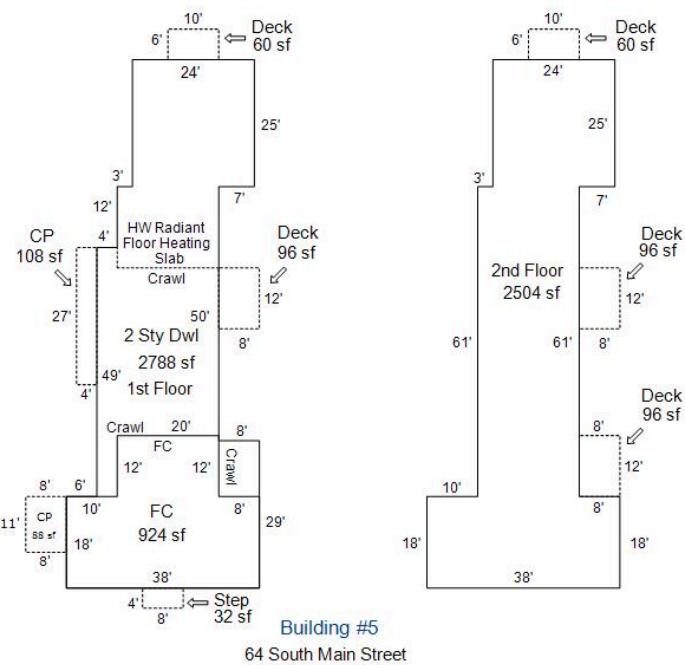
Building #1
55A Mountain Rd



Building #2
57 Mountain Road



Building #4
48 South Main Street



Sarah McShane

From: John Grenier <john@grenierengineering.com>
Sent: Monday, September 29, 2025 4:21 PM
To: Sarah McShane
Subject: [EXTERNAL] 55 Mountain Road, Peter Livaditis Deck Expansion

Follow Up Flag: Follow up
Flag Status: Flagged

Sarah, I believe you were waiting for an engineering opinion on this installation of deck supports for an expanded deck at 55 Mountain Road. As you know the building sits on the banks of the West Branch River, and is adjacent to the floodplain and floodway. One the attached sketch please note the location of the second story deck, and the post to be installed next to an existing set of stairs down to existing grade. State and Federal regulations control the installation of structures or fill with the floodway and floodplain that constrict or alter the flow of the river. If fill is placed in the floodplain an equal amount must be removed to prevent a localized increase in flood elevations. In this case an 8" x 8" post with a below grade screw anchor is to be installed. This will not constrict the stream channel in anyway and not raise the flood elevation. We believe this should allow Stowe Zoning to approve the installation of the post to support the deck. Please let me know if you need an official plan or if this sketch is adequate for your needs.

Thank you,



Natural Resources Atlas

Vermont Agency of Natural Resources

vermont.gov



DFRM Floodways

DFRM Flood Hazard Areas (C FEMA-digitalized data)

AE (1-percent annual chance flood)

A (1-percent annual chance flood)

AO (1-percent annual chance 200-year flood)

0.2-percent annual chance flood (a)

Parcels (standardized)

Roads

Interstate

US Highway 1

State Highway

Town Highway (Class 1)

Town Highway (Class 2/3)

Town Highway (Class 4)

State Forest Trail

National Forest Trail

Legal Trail

Private Road/Driveway

Proposed Roads

Town Boundary

1: 1,617
July 28, 2025

NOTES

Map created using ANR's Natural Resources Atlas

82.0

41.00

62.0 Meters

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor do they warrantee to be implied with respect to the data on this map.

WGS_1984_WGS_Mercator_Auxiliary_Sphere

1" = 135 Ft

1cm = 16 Meters

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Outlook

RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

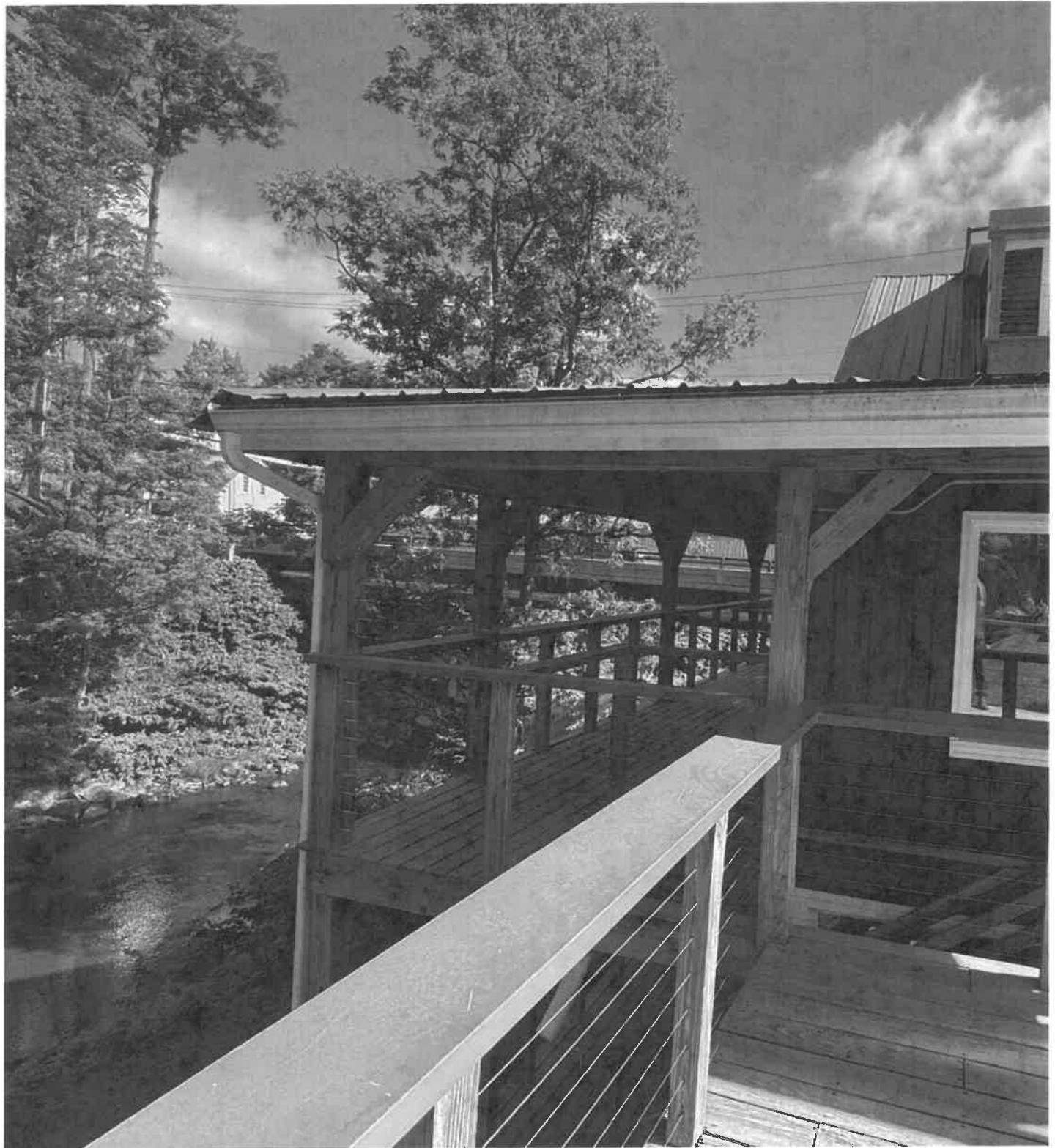
From Kelley Osgood <kelley@volanskystudio.com>
Date Tue 11/4/2025 4:03 PM
To Kyle Hansen <khansen@stowevt.gov>

You don't often get email from kelley@volanskystudio.com. [Learn why this is important](#)

Kyle,

We plan to match existing pressure treated framing, decking, and railing assembly. Also, cable to rails to match existing.

Here is a photo of existing deck.



-Kelley

From: Kyle Hansen <khansen@stowevt.gov>
Sent: Tuesday, November 4, 2025 3:02 PM
To: Kelley Osgood <kelley@volanskystudio.com>
Subject: Re: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Hi Kelley,

Since this proposed addition will be modifying a facade of a historic building in the Stowe Historic Overlay District, it will need to be reviewed by the Stowe Historic Preservation Commission so they can give their recommendation.

One thing I noticed that is missing from your application, is that there is no mention of what materials you plan to use for the deck. Could you send me a list of materials you plan to use, so that the HPC can better review your proposal?

Thank you,
Kyle Hansen

From: Kelley Osgood <kelley@volanskystudio.com>
Sent: Tuesday, November 4, 2025 11:59 AM
To: Sarah McShane <smcshane@stowevt.gov>; John Grenier <john@grenierengineering.com>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>; Kyle Hansen <khansen@stowevt.gov>
Subject: RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah,

Please see attached updated North elevation. This change will add about \$3,000 to the previous \$25,000 budget. We'll have Grenier update the improvement costs.

-Kelley

From: Sarah McShane <smcshane@stowevt.gov>
Sent: Tuesday, November 4, 2025 8:44 AM
To: Kelley Osgood <kelley@volanskystudio.com>; John Grenier <john@grenierengineering.com>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>; Kyle Hansen <khansen@stowevt.gov>
Subject: RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Good Morning Kelley,

Our new teammate Kyle Hansen, copied on this email, will review the submittals and get back to you with any missing information. If you'd like to modify the rear of the building, please provide an updated elevation drawing and update the substantial improvement costs to reflect the change from window to door.

Thanks!
Sarah



Sarah McShane, Planning & Zoning Director
 Town of Stowe- Department of Planning & Zoning
 Stowe, VT 05672
 (802) 253-2705
www.townofstowevt.org
stowe2050.org

From: Kelley Osgood <kelley@volanskystudio.com>
Sent: Monday, November 3, 2025 1:28 PM
To: John Grenier <john@grenierengineering.com>; Sarah McShane <smcshane@stowevt.gov>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>
Subject: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah,

Do you have what you need for this now?

In addition, we would like to switch out a window for a door on the back of the building – can I include this in this submittal?

-Kelley

From: John Grenier <john@grenierengineering.com>
Sent: Wednesday, October 29, 2025 10:29 AM
To: Sarah McShane <smcshane@stowevt.gov>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Kelley Osgood <kelley@volanskystudio.com>; Travis Cutler <tcutler@stowebuilder.com>
Subject: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah, please find attached exhibits supporting the permit application for the proposed deck expansion at 55 Mountain Road. These include a cover letter with explanation of the FEMA Substantial Improvement calculation, the calculation worksheet itself, and the listers card for the entire Straw Corner Shops complex. Please let me know if you have any questions or need additional information.

Thank you,

John D. Grenier, PE
 President
 Grenier Engineering, PC
 (802)244-6413
www.grenierengineering.com

