



Development Application
Town of Stowe Planning & Zoning Department
PO Box 730
Stowe, VT 05672
Telephone: (802) 253-6141
This form serves as an application for all requested zoning and subdivision reviews.

Project #
(To be assigned)

Date Received:

Property Owner Information

Property Owner	PETER LIVADITIS, MAPLE CORNER INVESTMENTS, LLC	
Mailing Street Address City, State and Zip		
Telephone Number		Email

Applicant Information (Relationship to Owner)

- ☐ Owner (If so, skip to property information) ☐ Lessee ☐ Contractor
☒ Architect/Designer ☐ Agent for Owner ☐ Under purchase contract
All information and correspondence is sent to applicant/contact.

Applicant Name Company (if any)	KELLEY OSGOOD, VOLANSKY STUDIO	
Mailing Street Address City, State and Zip	135 LUCE HILL ROAD, STOWE, VT 05672	
Phone Number	802-730-3718	Email Kelley@volanskystudio.com

Property Information & Location

Physical Address	55 MOUNTAIN ROAD	
Tax Map ID		
Existing Use	MIXED-USE	Proposed Use NO CHANGE

Please briefly describe the proposed project, intended use, and/or development request below:

INFILL 9' x 12' SECTION OF EXISTING DECK

For All Approvals:

The below signed hereby agrees that the proposed work shall be done in accordance with the application, plan, specifications, and other associated documentation and that the work shall conform to all applicable town ordinances and regulations. Signing as an "Agent for Owner" indicates that the person signing has the permission of the owner to act on the owner's behalf. Additional permits may be needed from the State of Vermont and/or the Town of Stowe for development.

Indicate if: <input type="checkbox"/> Property Owner OR <input checked="" type="checkbox"/> Agent for Owner	Signature: Date: 7/24/25
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Additional application information is required on reverse side: ➔

Note: Local Zoning approval does not cover any required state approvals. Wastewater System and Potable Water Supply permits may be required for construction or modifications that change the wastewater flow. Other State permits may be required for certain uses. The applicant is advised to contact a DEC Permit Specialist to discuss the State permit requirements at 802-505-5367.

Construction Information

A site plan showing the proposed development is required if construction is involved.
The applicant is responsible for determining property lines and setbacks.

Please answer the questions below for all projects:

Will there be a new curb cut (driveway opening)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will over ½ acre of land be graded or disturbed?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will the development create an additional ½ acre of impervious surface?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be other changes resulting in increased sewer or water flows?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe sewage system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Will there be a new connection to the Stowe water system?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Is any portion of the building rented out?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Is an Act 250 permit or amendment required?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

Maximum Bldg. Height: 54 * Building Height is defined as the vertical distance measured from the average elevation of the proposed finished grade at the front or rear of the building to the highest point of the roof for flat and mansard roofs, and to the average height between eaves and ridge for other types of roofs. On sloping sites the height will be measured on the uphill side.

Please answer the questions below for all projects involving residential dwellings:

Existing Rooms: <u>N/A</u>	# Bathrooms:	# Bedrooms:	# Kitchens:
New Rooms: <u>N/A</u>	# Bathrooms:	# Bedrooms:	# Kitchens:

Please complete the fee calculation below for all applications:

Zoning Permit Fees - Single & Two-Family Dwellings (Permitted Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.30	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.)	\$0.10	
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$60.00	
Minimum application fee for Single & Two-Family Dwellings/Permitted Uses	\$60.00	
Fee:		\$
Zoning Permit Fees - Conditional Uses (Commercial & Multi-Family Uses)	Fee/Sq. Ft.	Fee Required
Enclosed building spaces per sq. ft (heated & unheated)	\$0.40	
Unenclosed building spaces per sq. ft (i.e., decks, open porches, etc.) <u>108</u>	\$0.25	\$27.00
Structures other than buildings (i.e., ponds, tennis courts, fences, etc.) - per structure	\$100	
Administrative amendment by Zoning Administrator	\$75.00	
Fee:		\$
Development Review & Public Hearing Fees	Fee/Sq. Ft.	Fee Required
Appeal of Action of Zoning Administrator	\$250.00	
Variance or Dimensional Waiver	\$250.00	\$250
Conditional Use Review <u>HPC / DRB</u>	\$250.00	
Ridgeline & Hillside Overlay District (RHOD) Review	\$250.00	
Design Review (Single-Family & Two-Family Dwelling)	\$60.00	
Design Review (All other uses except Single-Family & Two-Family Dwelling)	\$250.00	
Subdivision Review (includes PRD's & PUD's)		
Preliminary Layout Application (base fee)	\$250.00	
Preliminary Layout (fee per unit or lot if equal to and/or more than 5 lots/units)	\$275.00	
Final Plat Application (base fee)	\$250.00	
Final Plat Application (additional fee per unit or lot if preliminary layout was not required)	\$150.00	
Minimal Alteration reviewed by Zoning Administrator	\$100.00	
Other subdivision applications/amendments requiring DRB approval	\$250.00	
Fee:		\$
Signs	\$70.00	
Fee:		\$
Recording Fees /Stowe Land Records (set by state law)		

Additional Recording Fee for decision notice	\$15.00/page	\$
Additional Recording Fee for permit	\$15.00/page	\$ 15. ⁰⁰
Additional Recording Fee for Mylar	\$25.00/sheet	\$
Total Application Fee Including Recording		\$ 292. ⁰⁰

Payments should be made to the Town of Stowe. Payment can be made by cash, check, or with a credit card (Mastercard, Visa or Discover) or online. Go to www.townofstowevt.org/townclerk/ and [click the link for online payments](#). Please note there is a 3% convenience fee for credit card payments.

Incomplete applications will be returned. A complete application must include a site plan, elevation drawings, and floorplans. See application checklists for additional guidance.

OFFICE USE ONLY							
Date Received _____	<table border="1"> <tr> <td>Permit Fee</td> <td>\$</td> </tr> <tr> <td>Recording Fee</td> <td>\$</td> </tr> <tr> <td>TOTAL FEE</td> <td>\$</td> </tr> </table>	Permit Fee	\$	Recording Fee	\$	TOTAL FEE	\$
Permit Fee	\$						
Recording Fee	\$						
TOTAL FEE	\$						
Zoning District _____	<input type="checkbox"/> Check # _____ <input type="checkbox"/> Cash _____						
Overlay District _____							
Approved Date _____							
Effective Date _____							
Expiration Date _____							
Denied Date _____	Referred _____						
Reason _____	Hearing Date _____						
Comments/Conditions							
<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>							
Zoning Administrator _____	Date _____						
For assistance, please contact the Planning & Zoning Department of 253-6141 or by email at PandZ@stowevt.gov							

The Town of Stowe welcomes all persons, regardless of race, color, religion, national origin, sex, gender identity or expression, family status, age, or ability, and wants everyone to feel safe and welcome in our community. As a town, we formally condemn discrimination in all its forms, commit to fair and equal treatment of everyone in our community, and will strive to ensure all of our actions, policies, and operating procedures reflect this commitment. The Town of Stowe has and will continue to be a place where individuals can live freely and express their opinion.

Information Needed to Determine Substantial Damage

Your building may have been Substantially Damaged.

When a structure in the high risk Special Flood Hazard Area is Substantially Damaged (SD), the permit issued for any repair will also require that the lowest floor of the building be elevated **at least two (2) feet*** above the Base Flood Elevation, or as required in bylaw.

*Elevation standards may vary between communities. Check your community's bylaw.

Please be aware that VTDEC recommends elevation of at least 2 feet above the BFE to reduce future risk and the significantly lower flood insurance premiums.

"Substantial damage" means damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.

First, is the structure historic?

Historic buildings, that retain their historic status after the improvement, may be exempt from the need to elevate the lowest floor.

No	Historic structure. Attach documentation of historic status.
No	Given the proposal, the structure will retain historic status after improvements. Attach documentation
No	If both, the elevation of the lowest floor might not be required, however, other regulatory criteria still apply.

"Historic structure" means any structure that is: (a) listed individually in the National Register of Historic Places (a listing maintained by the Department of the Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register; (b) certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district; (c) individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or (d) individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either: (i) by an approved state program as determined by the Secretary of the Interior or (ii) directly by the Secretary of the Interior in states without approved programs.

Market Value of Building

Box A	\$2,000,000	Adjusted Assessed Value of the building (only). Attach lister values.
Box B		Or, attach qualified appraisal of the market value of the building (only) before the damage. Attach appraisal and credentials.
Box C	\$2,000,000	The most accurate market value to be used in the determination (<i>either</i> Box A or Box B)

Building Damage

Box D	\$0	Estimated cost of all damage/repairs to the building needed to bring it back to its <u>pre-damaged condition</u> . This includes exterior and interior work on the structure itself including built-in/wired-in fixtures, carpet, blinds, sheetrock, etc. Attach contractors' estimates (or other damage estimate source) with a detailed breakdown covering labor and materials at market rates. **See FEMA SI/SD costs to include/exclude for a detailed list of cost breakdowns**
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If the building will also be improved then a determination of **Substantial Improvement** must be made separately:

Box E	\$28,000	Estimated cost of all damage/repairs and proposed improvements to the building itself.
Box F	\$0	Total improvements and damage repairs from last year .
Box G	\$0	Total improvements and damage repairs from two years ago .
Box H		Total improvements and damage repairs from three years ago .
Box I	\$28,000	Total Cumulative Improvements and Repairs over the past three years plus proposed work (addition of Box E-Box H)
Box J	\$0	Or, Total Cumulative Improvements and Repairs covered by the Common Plan of Development
Box K	\$28,000	Grand Total Cumulative Improvements and Repairs (the addition of Box I and Box J)

Notes:

1. Exclude any costs outside the structure (eg landscaping, septic, well, engineering or permits) & plug-in appliances inside the building
2. Exclude any costs required to correct existing violations of state or local health, sanitary, or safety code specifications which had been previously
3. Exclude debris clean up and trash removal.
4. Exclude costs to temporarily stabilize the building in order to do an assessment of damage and estimate for cost of repairs

Substantial Damage Determination

Box L	0%	Total Percent Damage ((Cost of Damage)/[Repairs Per Market Value of Building] multiplied by 100) or ((Box D/Box C) *100)
	> 50%	Substantial Damage

Substantial Improvement Determination

Box M	1.40%	Total Percent Improvement ((Cumulative Improvements and Repairs)/[Market Value of Building] multiplied by 100) or ((Box K/Box C)*100)
	> 50%	Substantial Improvement

"Substantial improvement" means any repair, reconstruction, rehabilitation, addition, or other improvement of a structure after the date of adoption of this bylaw, the cost of which, over three years or over the period of a common plan of development, cumulatively equals or exceeds 50 percent of the market value of the structure before the "start of construction" of the improvement. This term includes structures which have incurred "substantial damage," regardless of the actual repair work performed. The term does not, however, include either: (a) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been previously identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions or (b) Any alteration of an "historic structure," provided that the alteration will not preclude the structure's continued designation as an "historic structure." *

* Please note that this is the definition found in the VT DEC Model Flood Hazard Bylaws, and requires tracking improvements over three years. Please check your own bylaw for the definition to use.

"Market Value" The price at which a property will change hands between a willing buyer and a willing seller, neither party being under compulsion to buy or sell and both having reasonable knowledge of relevant facts. As used for floodplain management, the term refers to the market value of buildings and structures, excluding the land and other improvements on the parcel. Market value may be established by a qualified independent appraiser, Actual Cash Value (replacement cost depreciated for age and quality of construction), or tax assessment value adjusted to approximate market value by a factor provided by the Property Appraiser.

"Common plan of development" means where a structure will be refurbished or constructed under one approved plan or permit, but in separate stages, phases, or in combination with other construction activities. Such work may be planned unit by unit and may take place at different times, on different schedules.

Building Systems for Damage Estimates	
	Foundation
	Electrical (panels, wiring)
	HVAC - including furnace, ducts
	Fuel tank
	Floor repairs (structural, subflooring, insulation and finish)
	Walls and ceiling repairs (structural, subflooring, insulation and finish)
	Built-in appliances and equipment (eg dishwashers, elevators)
	Built-in furnishings (eg cabinets, carpeting, blinds)
	Exterior finishes
	Windows and doors
	Hot water system, pressure tank, cistern
25000	Attached porch, garage, breezeway
	Plumbing
	Total toward damage or improvement estimate



Town of Stowe
Attn: Sarah McShane, Zoning Director
67 Main Street
Stowe, VT 05672

November 12, 2025

Re: 55 Mountain Road Substantial Improvement Calculations.

Dear Sarah,

Peter Livaditis, the owner of Maple Corner Investments is planning a deck addition to the existing building at 55 Mountain Road. The deck addition will connect two existing decks and complete external pedestrian access along the side and rear of the building. A structural post must be installed to support this new section of deck. The post and its anchor will be placed within the 100-year floodplain of the West Branch. No fill is required to install this post and being only 8" wide will have little to no measurable effect on the flow path of the West Branch and channel width. Improvements made with the floodplain must show they do not each the definition of "Substantial Improvement". Total improvements made to a build that increase its value by over 50% would require the whole building to be raised or waterproofed to two feet above base flood elevation (BFE). In this case the deck addition will cost \$28,000, and the assessed value of the existing building is \$2,000,000. The total percentage of the improvement is 1.40%, please see the attached exhibits for calculations. We submit that because the building improvements are well below 50% FEMA and the Agency of Natural Resources can approve the deck addition per their rules. Please don't hesitate to contact our office if you have any questions,

Sincerely

A handwritten signature in blue ink, appearing to be 'J. Grenier', written over a circular blue stamp or seal.

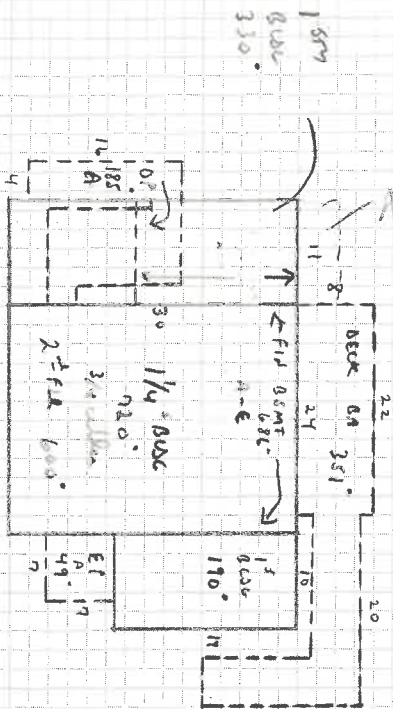
John Grenier, PE
President, Grenier Engineering, PC

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02134-
MAPLE CORNER INVESTMENTS LLC
2.04 AC & COMM BLDGS
7A-134.000

REMARKS

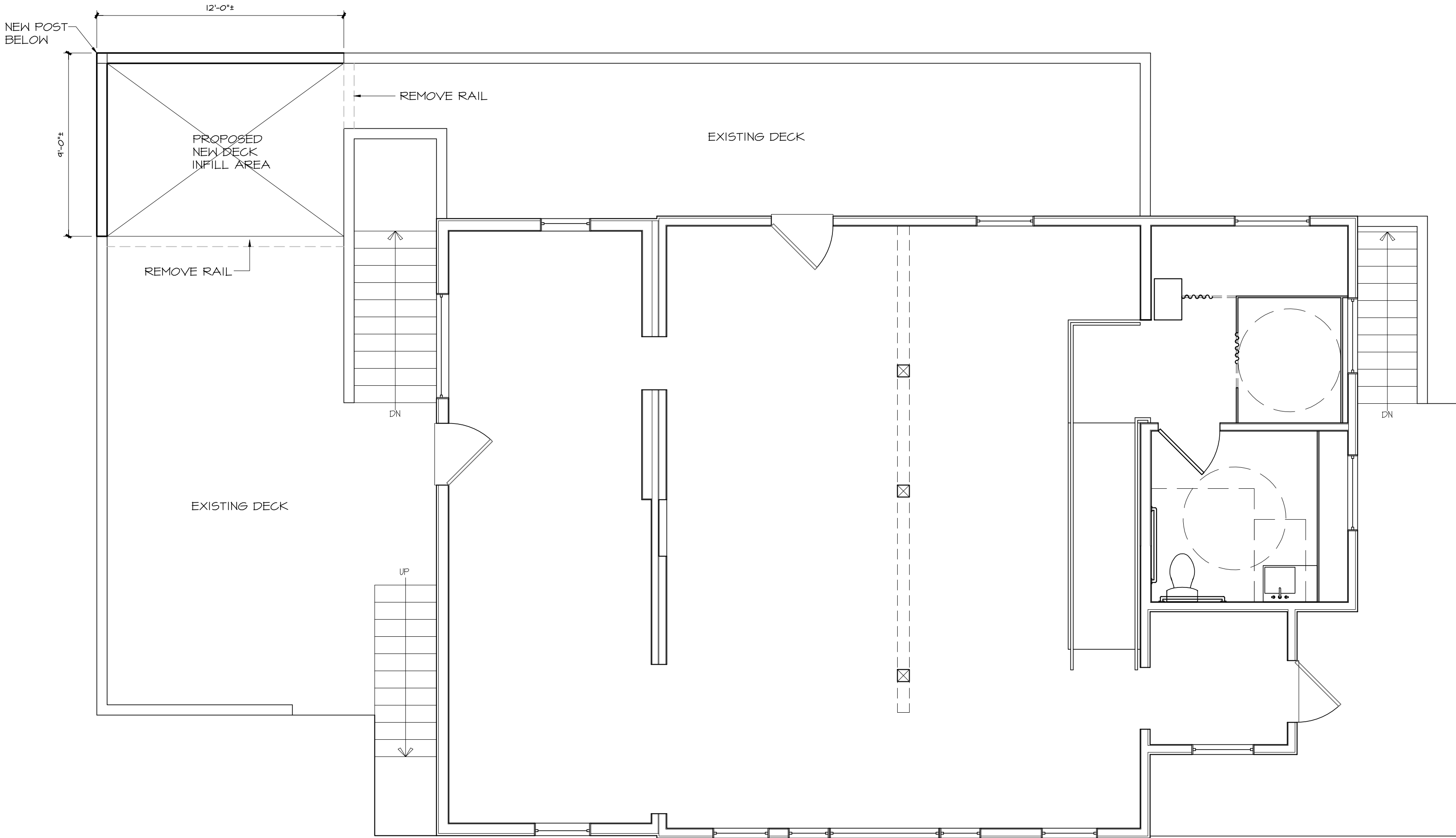
Right of way thru lot
Apt on 2nd & on 2nd floor - rental 1st floor

[illegible]

TOTAL ROOMS					BED ROOMS					BATH ROOMS							
B	1	2	3	4	5	B	1	2	3	4	5	B	1	2	3	4	5
4	3	3				1	0	2				1	0	1			

DATE OF MEASUREMENT
1-11-93





PROPOSED
MAIN LEVEL FLOOR PLAN

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

VSAP



EXISTING
NORTH ELEVATION

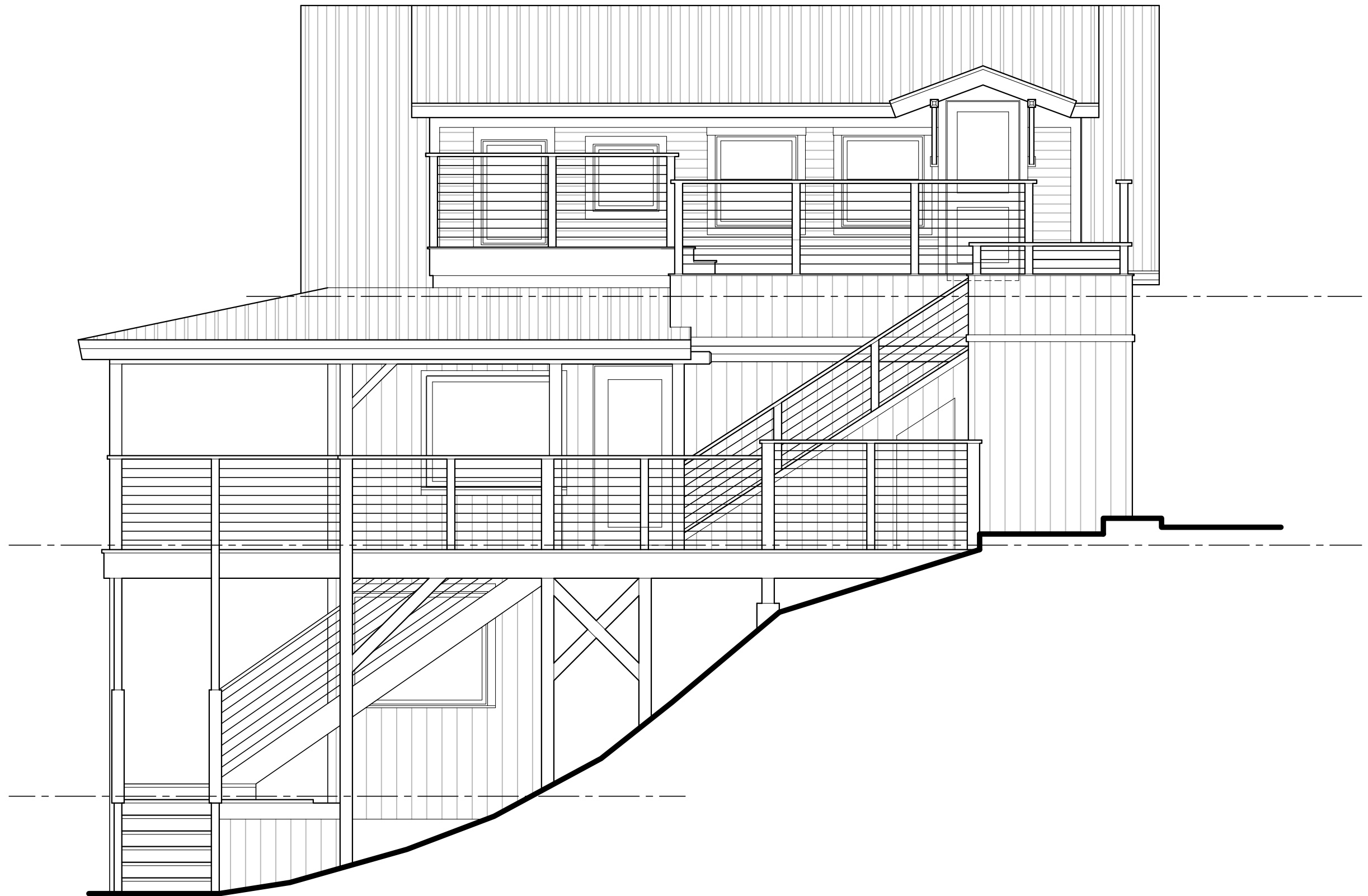
55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

VSAP



EXISTING
WEST ELEVATION

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

VSAP



PROPOSED
NORTH ELEVATION

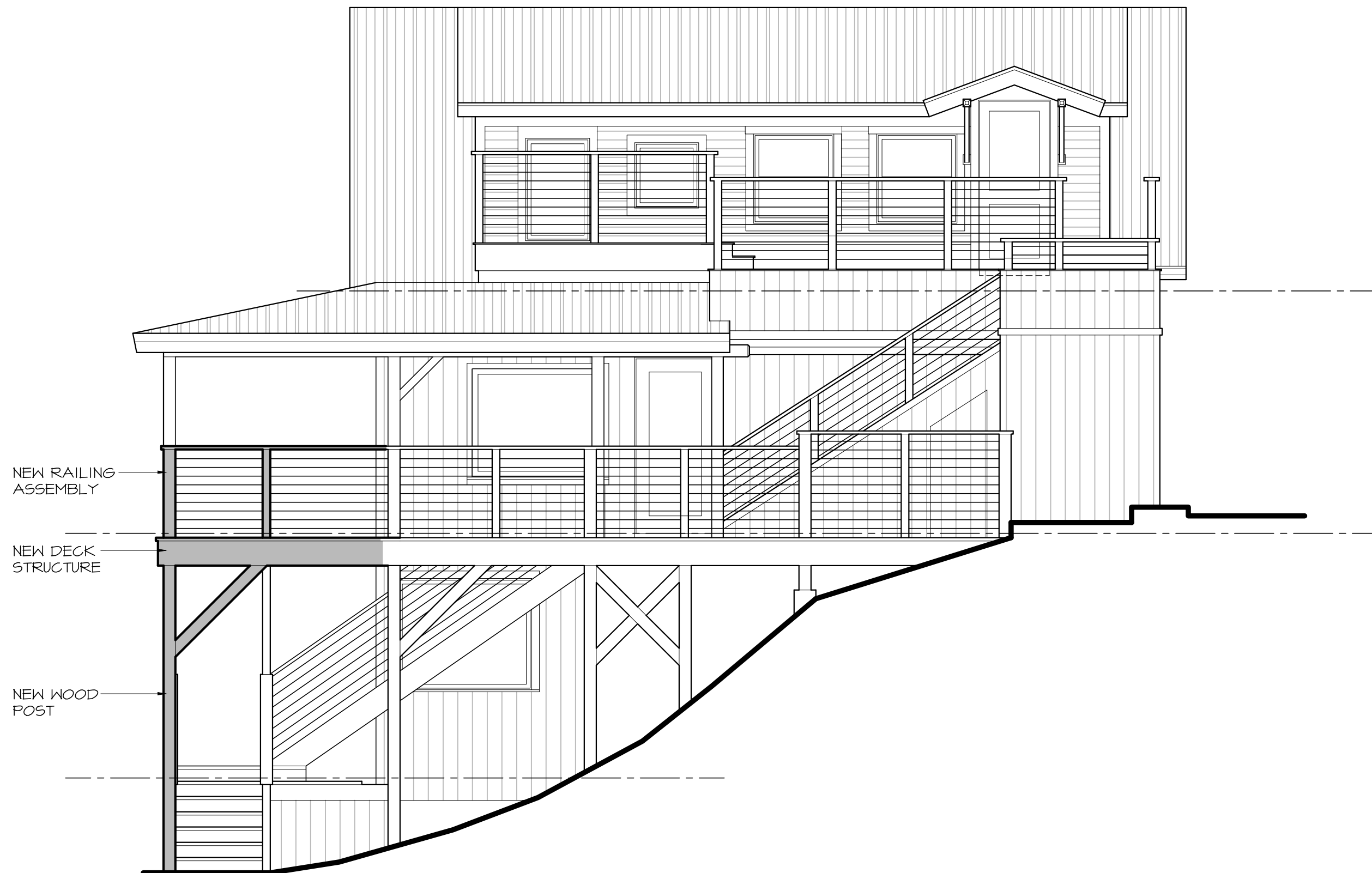
55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

VSAP



PROPOSED
WEST ELEVATION

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"

10-10-25

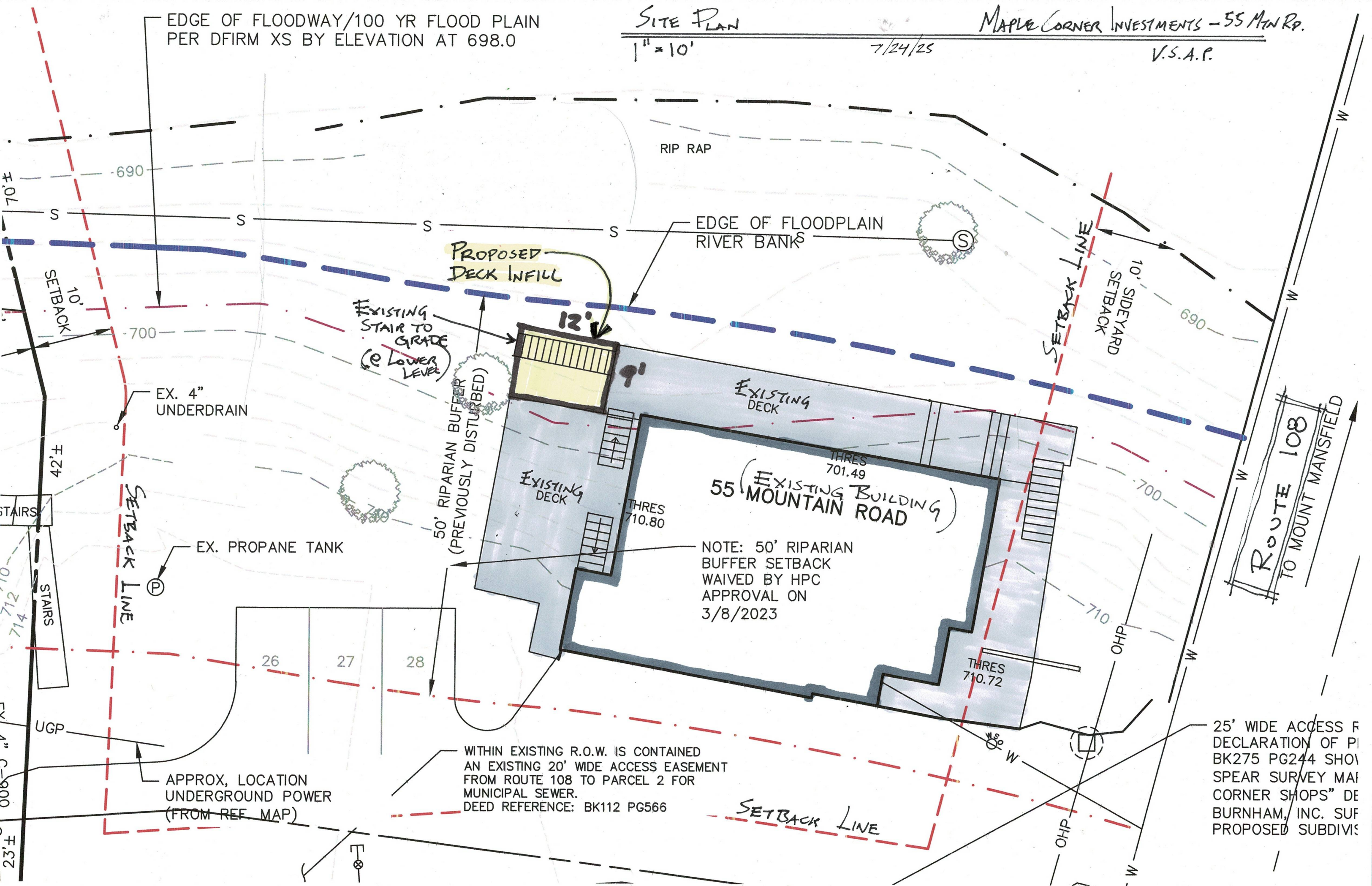
VSAP

EDGE OF FLOODWAY/100 YR FLOOD PLAIN
PER DFIRM XS BY ELEVATION AT 698.0

SITE PLAN
1" = 10'

7/24/25

MAPLE CORNER INVESTMENTS - 55 Mtn Rd.
V.S.A.P.



RIP RAP

EDGE OF FLOODPLAIN
RIVER BANKS

PROPOSED
DECK INFILL

EXISTING
STAIR TO
GRADE
(e Lower
LEVEL)

EX. 4"
UNDERDRAIN

50' RIPARIAN BUFFER
(PREVIOUSLY DISTURBED)

EXISTING
DECK

55 (EXISTING BUILDING)
MOUNTAIN ROAD

NOTE: 50' RIPARIAN
BUFFER SETBACK
WAIVED BY HPC
APPROVAL ON
3/8/2023

EX. PROPANE TANK

WITHIN EXISTING R.O.W. IS CONTAINED
AN EXISTING 20' WIDE ACCESS EASEMENT
FROM ROUTE 108 TO PARCEL 2 FOR
MUNICIPAL SEWER.
DEED REFERENCE: BK112 PG566

APPROX, LOCATION
UNDERGROUND POWER
(FROM REF. MAP)

25' WIDE ACCESS R
DECLARATION OF PI
BK275 PG244 SHO
SPEAR SURVEY MA
CORNER SHOPS" DE
BURNHAM, INC. SUP
PROPOSED SUBDIVIS

ROUTE 108
TO MOUNT MANSFIELD

AREA OF
PROPOSED
DECK INFILL



MAPLE CORNER INVESTMENTS
VSAP
7-24-25

A photograph of a wooden deck on a red building overlooking a river. The deck has a metal roof and a railing. A yellow power tool is on the deck. A callout bubble points to a section of the deck railing. The background is a dense forest of green trees.

AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25



AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25



AREA OF
PROPOSED
DECK INFILL

MAPLE CORNER INVESTMENTS
VSAP
7-24-25



PROPOSED
NORTH ELEVATION

55 MOUNTAIN ROAD

MAPLE CORNER PROPERTIES

SCALE 1/4" = 1'-0"


11-4-25

VSAP

Stowe, VT - Property Database - Detail Result

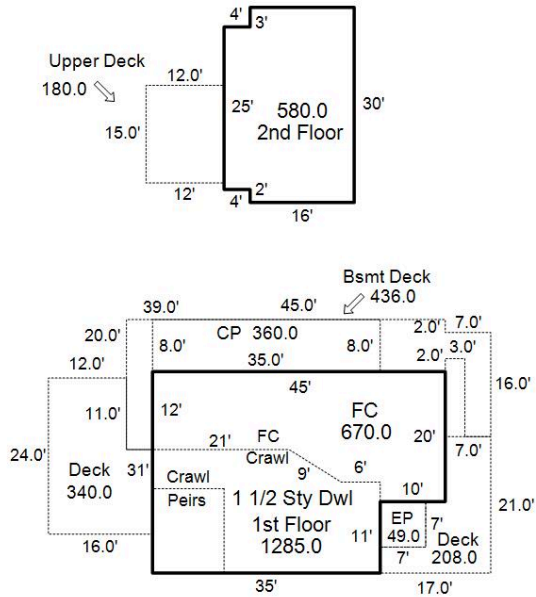
Last Updated: July 23, 2025 | Official copies of data must be obtained at the Stowe Office.

Powered by
www.nemrc.com

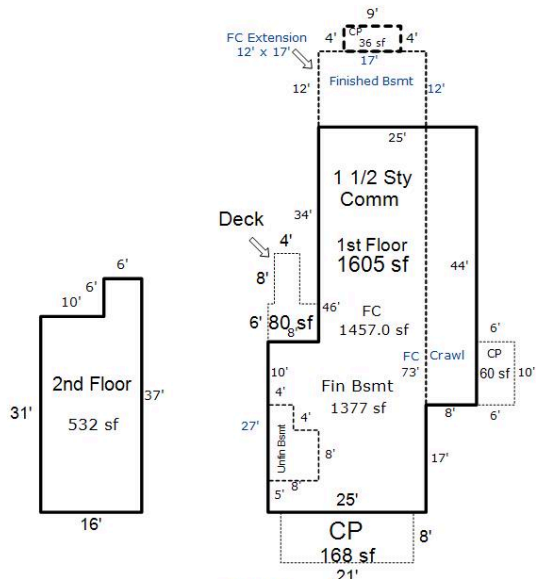
Owner Information				Parcel Value Information							
Parcel Owner	02134 MAPLE CORNER INVESTMENTS LLC 703 WORCESTER ROAD CALAIS, VT 05648			Land Value	3,012,500	Homestead					
Location	55 MOUNTAIN RD #A			Dwelling Value	2,583,700	Housesite					
Tax Map #	7A-134.000			Site Imprvmnt	355,000						
Descr	2.04 AC & COMM BLDGS			Outbuildings							
Parcel Information				Total	5,951,200						
NBHD	25	SPAN	621-195-10939								
Acres	2.04	Status	A - Active								
Sales Information											
Book Page	Sale Date		//								
	Sale Price										
BUILDING	Total Rooms	6	Year Built	1900	Building SF	1865.00	Energy Adj	Average			
	Bedrooms	2	Effect Age		Quality	3.50	Bsmt Wall	Conc 8in	Condition		
	Full Baths	1	Condition	Avg/Good	Style	1.5 Fin	Bsmt SF	670	Fireplaces		
	3/4 Baths		Phys Depr	23	Design	1.5 Sty	Bsmt Fin	3	Porch	1573	
	Half Baths	1	Funct Depr	10	Bldg Type	Single	Bsmt Fin SF	670	Gar/Shed		
	Kitchens	1	Econ Depr								
	Notes	Survey in Map Bk 10, page 13 - Slide 745A Bldg is a converted shed into a retail area on 1st floor - nicely done, office on 2nd floor (could be an apt but poor entry) and a finished bsmt area that serves as storage/shipping area (call rec finish). Parcel is right on Mountain Rd with a steep pitch to river and a traveled RoW in the front. Good location. 10% func for setup and porches. 2024: Interior except for apt on 2nd floor - talked with owner. 2nd floor is now a 2 bedroom apt. Comm area is very clean and well maintained. Extra kitchen sink in bsmt. 5% func for porch values & setup. Limited parking. 2025: Added contiguous parcels together per state guidelines. Building #3 completed. 59 Mountain Rd purchased 1-7-22 for \$800,000 Bk 1153/250 57 Mountain Rd purchased 2-2-23 for \$1,550,000 Bk 1190/351 48 South Main St purchased 8-14-24 for \$1,002,500 Bk 1293/293 55A Mountain Rd purchased 10-8-24 for \$2,000,000 Bk 1237/98 64 South Main St purchased 3-28-25 for \$2,850,000 Bk 1249/107									
	BUILDING	Total Rooms	4	Year Built	1850	Building SF	2137.00	Energy Adj	Average		
		Bedrooms		Effect Age		Quality	4.00	Bsmt Wall	Conc 8in	Condition	
		Full Baths	1	Condition	Good	Style	1.5 Fin	Bsmt SF	1457	Fireplaces	
3/4 Baths			Phys Depr	15	Design	Contemp	Bsmt Fin	4	Porch	344	
Half Baths		1	Funct Depr	10	Bldg Type	Single	Bsmt Fin SF	1377	Gar/Shed		
Kitchens			Econ Depr								
Notes		x									
BUILDING		Total Rooms	12	Year Built	2024	Building SF	2819.00	Energy Adj	No Data		
		Bedrooms	3	Effect Age		Quality	5.00	Bsmt Wall	Conc 12in	Condition	
		Full Baths	2	Condition	Excellent	Style	2.5 Fin	Bsmt SF		Fireplaces	
	3/4 Baths		Phys Depr	1	Design	ResComm	Bsmt Fin		Porch	940	
	Half Baths	1	Funct Depr		Bldg Type	Single	Bsmt Fin SF		Gar/Shed		
	Kitchens	2	Econ Depr								
	Notes	Building #3 is a new building, completed in 2025.									
	BUILDING	Total Rooms	9	Year Built	1900	Building SF	2473.00	Energy Adj	Average		
		Bedrooms	3	Effect Age		Quality	3.00	Bsmt Wall	Stone	Condition	
		Full Baths	2	Condition	Fair/Avg	Style	1.5 Fin	Bsmt SF	528	Fireplaces	
3/4 Baths			Phys Depr	35	Design	ResComm	Bsmt Fin	6	Porch	287	
Half Baths		1	Funct Depr	10	Bldg Type	Single	Bsmt Fin SF	100	Gar/Shed		
Kitchens		3	Econ Depr								
Notes		x									
BUILDING		Total Rooms	17	Year Built	1850	Building SF	5292.00	Energy Adj	Good		
		Bedrooms	8	Effect Age		Quality	5.00	Bsmt Wall	Stone	Condition	
		Full Baths	4	Condition	Good	Style	2 Story	Bsmt SF	924	Fireplaces	1
	3/4 Baths		Phys Depr	15	Design	ResComm	Bsmt Fin		Porch	636	

Half Baths	1	Funct Depr	10	Bldg Type	Single	Bsmt Fin SF	Gar/Shed
Kitchens	4	Econ Depr					
Notes	Building #5 1st floor setup as a gallery - 3 rooms, 1/2 bath, office and 1/2 bath 2nd floor is 3 apartments, all are 4 rooms, 2 bedrooms and bath. Building is in good condition for age.						
LAND	Land	1	Area	2.00	Grade	4.00	Frontage
LAND	Land	5	Area	0.04	Grade	5.00	Depth

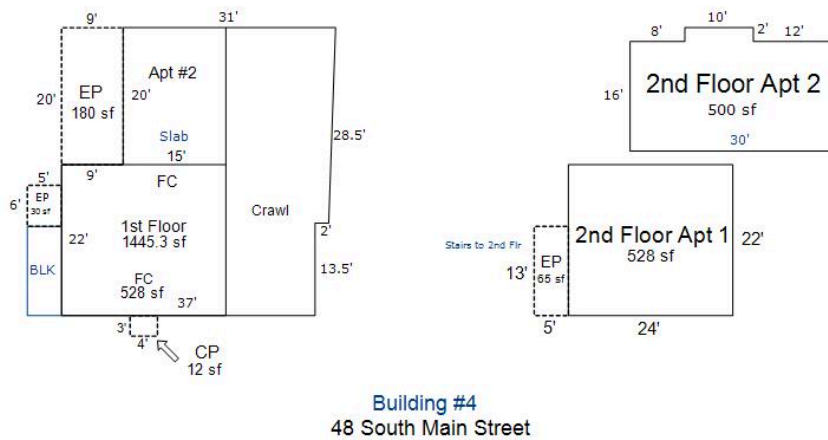
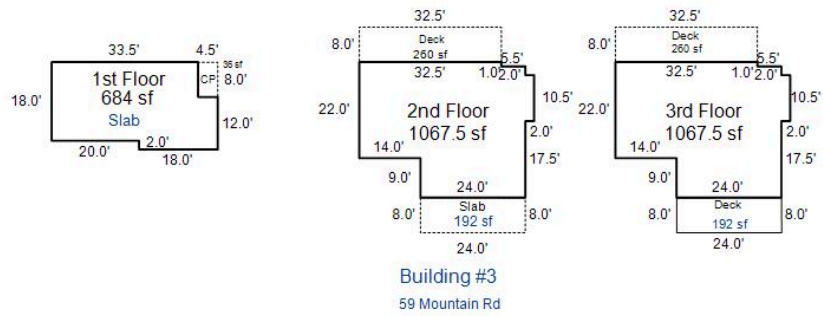
Sketch

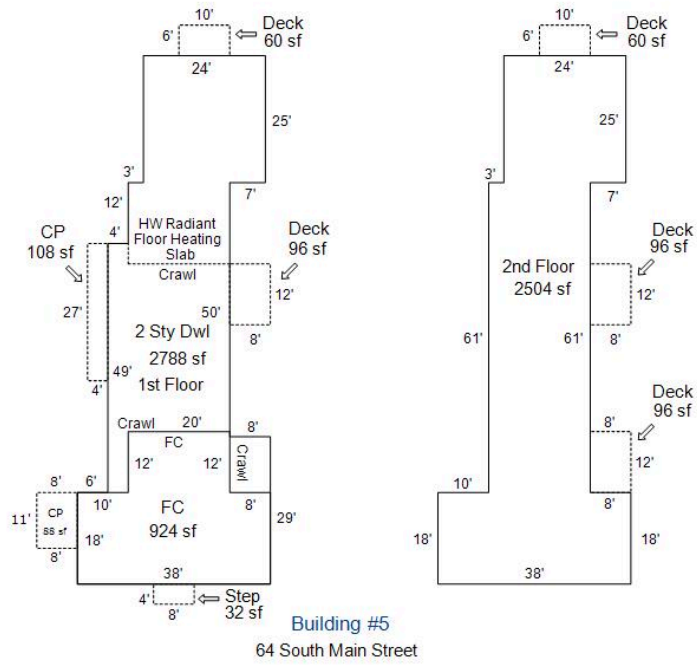


Building #1
55A Mountain Rd



Building #2
57 Mountain Road





Sarah McShane

From: John Grenier <john@grenierengineering.com>
Sent: Monday, September 29, 2025 4:21 PM
To: Sarah McShane
Subject: [EXTERNAL] 55 Mountain Road, Peter Livaditis Deck Expansion

Follow Up Flag: Follow up
Flag Status: Flagged

Sarah, I believe you were waiting for an engineering opinion on this installation of deck supports for an expanded deck at 55 Mountain Road. As you know the building sits on the banks of the West Brach River, and is adjacent to the floodplain and floodway. One the attached sketch please note the location of the second story deck, and the post to be installed next to an existing set of stairs down to existing grade. State and Federal regulations control the installation of structures or fill with the floodway and floodplain that constrict or alter the flow of the river. If fill is placed in the floodplain an equal amount must be removed to prevent a localized increase in flood elevations. In this case an 8" x 8" post with a below grade screw anchor is to be installed. This will not constrict the stream channel in anyway and not raise the flood elevation. We believe this should allow Stowe Zoning to approve the installation of the post to support the deck. Please let me know if you need an official plan or if this sketch is adequate for your needs.

Thank you,



Natural Resources Atlas
Vermont Agency of Natural Resources

vermont.gov



82.0 0 41.00 82.0 Meters
WQS_1984_Web_Mercator_Auxiliary_Sphere
© Vermont Agency of Natural Resources
1" = 136 Ft 1cm = 16 Meters
THIS MAP IS NOT TO BE USED FOR NAVIGATION
DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

1:1,617
July 28, 2025



LEGEND

- DFIRM Floodways
- DFIRM Flood Hazard Areas (C FEMA-digitized data)
- AE (1-percent annual chance flood)
- A (1-percent annual chance flood)
- AO (1-percent annual chance zone base)
- 0.2-percent annual chance flood (a)
- Parcels (standardized)
- Roads**
 - Interstate
 - US Highway: 1
 - State Highway
 - Town Highway (Class 1)
 - Town Highway (Class 2,3)
 - Town Highway (Class 4)
 - State Forest Trail
 - National Forest Trail
 - Legal Trail
 - Private Road/Driveway
 - Proposed Road
- Town Boundary

NOTES

Map created using ANR's Natural Resources Atlas



RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

From Kelley Osgood <kelley@volanskystudio.com>

Date Tue 11/4/2025 4:03 PM

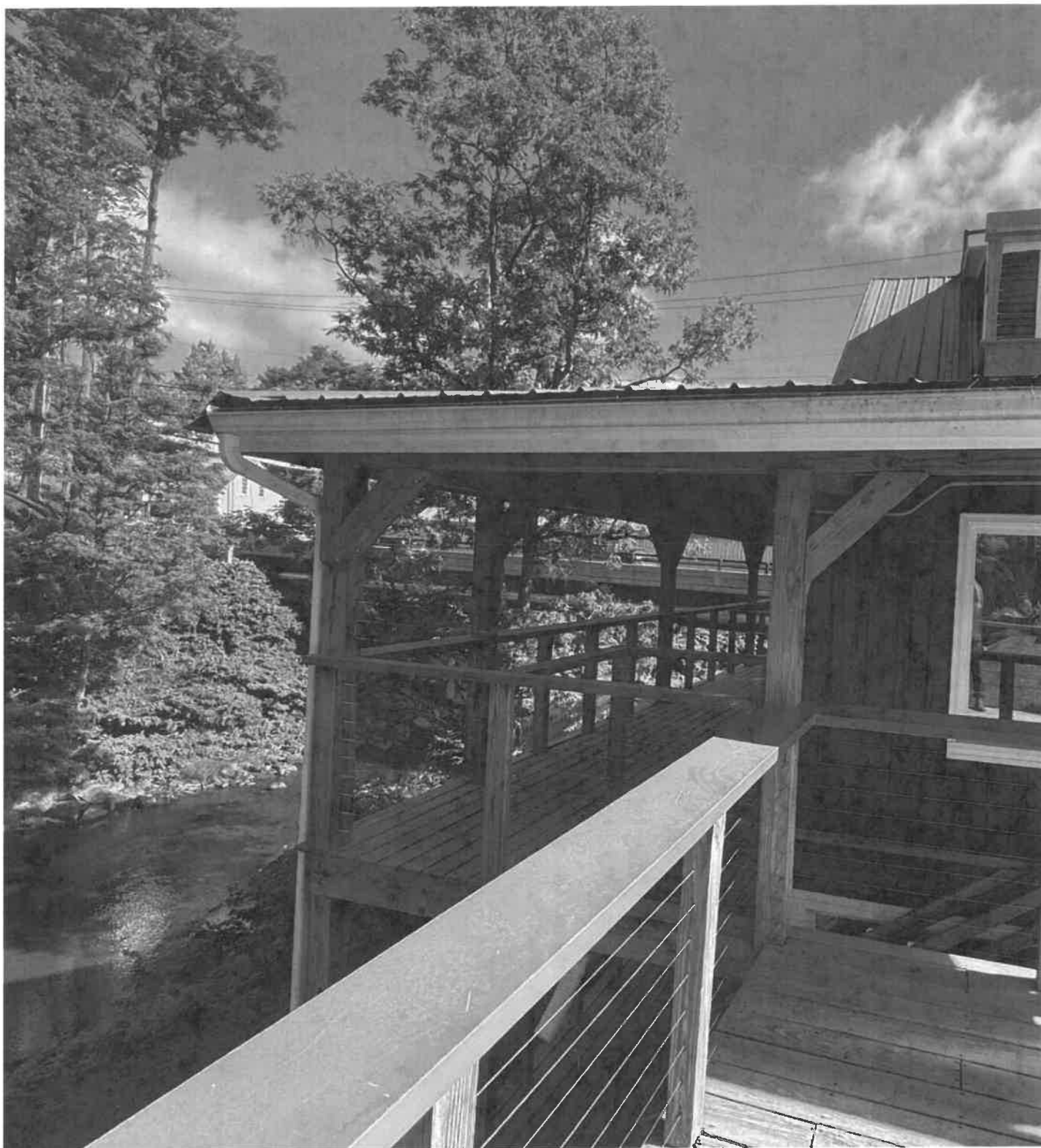
To Kyle Hansen <khansen@stowevt.gov>

You don't often get email from kelley@volanskystudio.com. [Learn why this is important](#)

Kyle,

We plan to match existing pressure treated framing, decking, and railing assembly. Also, cable to rails to match existing.

Here is a photo of existing deck.



-Kelley

From: Kyle Hansen <khansen@stowevt.gov>
Sent: Tuesday, November 4, 2025 3:02 PM
To: Kelley Osgood <kelley@volanskystudio.com>
Subject: Re: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Hi Kelley,

Since this proposed addition will be modifying a facade of a historic building in the Stowe Historic Overlay District, it will need to be reviewed by the Stowe Historic Preservation Commission so they can give their recommendation.

One thing I noticed that is missing from your application, is that there is no mention of what materials you plan to use for the deck. Could you send me a list of materials you plan to use, so that the HPC can better review your proposal?

Thank you,
Kyle Hansen

From: Kelley Osgood <kelly@volanskystudio.com>
Sent: Tuesday, November 4, 2025 11:59 AM
To: Sarah McShane <smcshane@stowevt.gov>; John Grenier <john@grenierengineering.com>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>; Kyle Hansen <khansen@stowevt.gov>
Subject: RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah,

Please see attached updated North elevation. This change will add about \$3,000 to the previous \$25,000 budget. We'll have Grenier update the improvement costs.

-Kelley

From: Sarah McShane <smcshane@stowevt.gov>
Sent: Tuesday, November 4, 2025 8:44 AM
To: Kelley Osgood <kelly@volanskystudio.com>; John Grenier <john@grenierengineering.com>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>; Kyle Hansen <khansen@stowevt.gov>
Subject: RE: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Good Morning Kelley,

Our new teammate Kyle Hansen, copied on this email, will review the submittals and get back to you with any missing information. If you'd like to modify the rear of the building, please provide an updated elevation drawing and update the substantial improvement costs to reflect the change from window to door.

Thanks!
Sarah



Sarah McShane, Planning & Zoning Director
Town of Stowe- Department of Planning & Zoning
Stowe, VT 05672
(802) 253-2705
www.townofstowevt.org
stowe2050.org

From: Kelley Osgood <kelly@volanskystudio.com>
Sent: Monday, November 3, 2025 1:28 PM
To: John Grenier <john@grenierengineering.com>; Sarah McShane <smcshane@stowevt.gov>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Travis Cutler <tcutler@stowebuilder.com>
Subject: [EXTERNAL] RE: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah,

Do you have what you need for this now?

In addition, we would like to switch out a window for a door on the back of the building – can I include this in this submittal?

-Kelley

From: John Grenier <john@grenierengineering.com>
Sent: Wednesday, October 29, 2025 10:29 AM
To: Sarah McShane <smcshane@stowevt.gov>; Kayla Hedberg <khedberg@stowevt.gov>
Cc: Peter Livaditis <peter.j.livaditis@gmail.com>; Kelley Osgood <kelly@volanskystudio.com>; Travis Cutler <tcutler@stowebuilder.com>
Subject: Deck Expansion, Maple Corners Investments, 55 Mountain Road

Sarah, please find attached exhibits supporting the permit application for the proposed deck expansion at 55 Mountain Road. These include a cover letter with explanation of the FEMA Substantial Improvement calculation, the calculation worksheet itself, and the listers card for the entire Straw Corner Shops complex. Please let me know if you have any questions or need additional information.

Thank you,

John D. Grenier, PE
President
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(802)244-6413
www.grenierengineering.com

